



RFP 1119-25P

Addendum 001 Issued February 20, 2025

1. During the pre-bid walk, it was mentioned the students may utilize the playground area during construction for 1-2 weeks. To encourage apples to apples bidding, please provide the LF of temp fence panels you would like the GC to provide while students utilize the playground during the summer. If it is found the temp fence panels are not required, a credit would be provided to CMC.

Use an allowance of \$2,500 for temporary fencing.

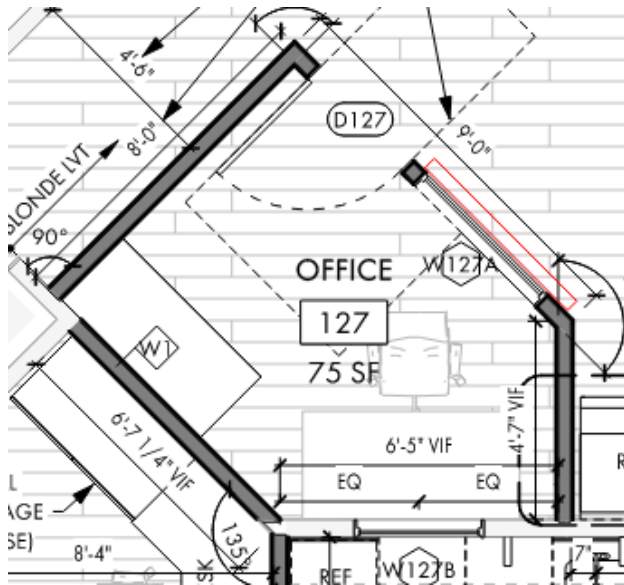
2. During the pre-bid walk, it was mentioned the proposed skylight is to be installed at a location where roof framing was originally designed for a skylight. Please confirm there is no fire sprinkler, mech, electrical, fire alarm, or IT cabling that may need to be modified for the proposed skylight assembly. If existing conditions require modifications, for bidding purposes please provide detail as to what will be required.

Leave the skylight out of the bid. This can be priced after the award when more information can be obtained.

3. During the pre-bid walk, it was observed in Flex Room 128, there is an existing base board heater on the wall where the Food Prep Area is proposed. In reviewing the demo sheets (including MPE's) we have not been able to locate where it is called out to remove the existing fixture and where to terminate it to. For bidding purposes please provide scope for existing fixture. Please see the photo below:



Assume the heater will be relocated to under window 127A. See the sketch in this answer.



4. During the pre-bid walk, it was observed in the Flex Room 128, where the Food Prep Area is proposed, there is a structural column that stands out past the existing wall finish. Please confirm the existing column that stands proud approx. 1-2 inches does not conflict with the proposed casework, plumbing and appliances at this location. If the column is in conflict with the design, for bidding purposes please provide scope change to incorporate the column into the design, including the underground plumbing. Please see the photo below:



Pricing furring out the wall on the flex room side to accommodate utilizes and cabinetry.

5. Sheet A3.0 – Existing & Demo Plan

- a. Could you please clarify the type of wall/assembly for the hallway wall scheduled for demolition? Specifically, I'm referring to the wall that will be modified to create the new entrance to the Storage room on A3.1. Is this wall made of concrete? If so, what is its thickness?

Assume the wall is a CMU and 8" thick.

6. Sheet A3.0 – Existing & Demo Plan

- a. What is the flooring type in the existing reception office?

The flooring in the reception office is LVT. This is wood grain in copper color. Assume \$5 per square foot for material replacement cost.

7. Sheet A3.1 – New Plan and Sheet A10.0 – Schedules

- a. Upon reviewing Sheet A3.1 for new wall locations and Sheet A10.0 for wall assemblies, it appears that the wall types might be swapped. Specifically, W2 is shown as 2x4 light gauge steel and W1 as 2x6 light gauge steel. Could you confirm if these should be reversed on the plans? Most of the walls are W1.

The wall tags appear are switched. W1 should be 4" and W2 should be 6". Please refer to structural sheet S-102.

- b. Please clarify that we will be using 3 5/8" light gauge framing, not 2x4 or 2x6 wood studs.

The framing is steel stud per structural and wall type.

8. Sheet A 7.0 – Details

- a. Please be aware that in discussions with the trades regarding this scope of work, there isn't enough detail to ensure consistent pricing across the board. While we understand the design concept, the pricing is subject to fluctuation due to the lack of additional information.

Noted.

- b. Without more information, there is a possibility that CMC could face change orders to the scope. CMC may also be in a position to be credited for the work.

Noted.

9. Sheet A7.0 – Details

- a. Please confirm that the wall type for the new walls associated with the skylight scope is W1.

See detail 4/A7.0 This is noted as a W1 which is per question 7 is a 4" thick wall. The curb of the skylight is filled with ridged insulation and has waterproofing as shown in detail 5 /A7.0.

10. Sheet A3.1 – New Plan – Entry 138

- a. Door D135A is specified as a base commercial-grade door with full lite glass and no sidelites. There are two proposed Add/Alt options for this door: one with a direct set sidelite and the other with a storefront glass door and mulled sidelite. Please confirm that Door D129A should be priced with the same base requirements and Add/Alt options.

Yes, price 129A the same as 135A.

- b. If D129A is to be priced with the same Add/Alt options as D135A, should these Add/Alt options be grouped together? For example, Add/Alt #1 would include both D135A and D129A, and the same for Add/Alt #2?

Yes, group the two entry doors together.

11. Sheet A3.1 – New Plan

- a. Are work desks, chairs, rolling mobile storage, tall storage, drying racks, etc. to be Furnished By Owner (FBO) or provided by the Contractor?

Items included in the specs are to be priced and provided by the contractor.

- b. Installed by contractor?

Yes.

12. Sheet A3.0 – Existing & Demo Plan

- a. The demo plan lists six (6) doors for removal and reuse during the build-out phase. Are we to reuse the door, hardware, and frames, or just the door itself? Please clarify.

Price all new doors. Credit at a later date if reuse is possible.

13. Sheet A3.0 - Existing & Demo Plan, Sheet A3.1 – New Plan, Sheet A10.0 – Schedules
- a. The demo plan lists six (6) doors for removal and reuse and the new construction drawings show various new door locations with different sizes, glazing requirements, swings and Type A/B Specs. Please clarify which locations will receive reused doors and frames, considering these factors.

See answer to #12.

- b. To ensure apples-to-apples bidding, please specify which of the new locations are intended for reused doors and frames and which are for new doors.

See answer to #12.

14. A10.0 - Schedules

- a. Please provide the frame requirements/specifications for the new doors, as well as for the existing doors if new frames are needed.

See answer to #12. New doors The new doors are to match the existing doors. Assume Commercial Wood and glass Doors, Birch veneer, with hollow metal frames to match the storefront. See details of the required hardware in the specifications.

15. A10.0 Schedules

- a. W127D is called out in the window schedule but I do not see this window in the plans anywhere. Please advise.

Delete this window from the bid.

16. A10.0 Schedules

- a. Window types: Could you specify which type of windows we should price? Vinyl, wood-clad, or another option?

Window in Office 127 should be hollow metal with finish to match storefront. The glazing between classroom 1&2 should be priced as storefront. Hollow metal or other alternate can be provided as an option if it provides cost savings.

17. Sheet A10.0 – Schedules and Sheet A6.0 Interior Elevations and Enlarged Plans

- a. In reviewing the finish schedule, A10.0 details that the base of the new bathrooms is to be rubber cove. The Bathroom elevations call for 6" Tile cove base. Please clarify.

Tile cove. See specifications for details on tile and cove.

18. Sheet A6.0 – Interior Elevations

- a. No toilet paper dispenser is illustrated in Child Restroom 2. Will Child Restroom 2 receive a Toilet Paper Dispenser?

Yes, all accessories called out in the specifications are for both new bathrooms.

19. Sheet A3.1 – New Plan

- a. Is the new pony wall included in the base bid, or is it an Add/Alternate with the teacher workstation? It is not listed as a new wall on A3.1, but is shown as a new wall on S-102. Please clarify.

The wall should be built as part of the base bid. It is required for the handwash area as well as to rough in plumbing and electrical. See #25.

20. A10.0 – Schedules

- a. For the room finish schedule, the ceiling column details will reuse as much existing A.C.T. as possible in multiple locations. To ensure an apples-to-apples bid, could you please specify the percentage of A.C.T. that will be new versus reused?

Demo tiles in good condition will be used to fill in the existing area that needs replacement in the existing to remain area. All demoed and replaced with new ACT can be assumed new tile. See sheet A3.3.

21. Sheet A3.1 – New Plan

- a. Regarding the Entry 138 area, the northwest wall indicates an Add/Alt for Built-In Shelving. However, there are no details or elevations provided for this scope. Could you please clarify what this Add/Alt should include?
- b. (2) ¾" Finish Grade Birch Plywood w/ L- Brackets?

Remove this shelving from the bid. It was replaced with homasote walls.

22. Sheet A6.0 – Interior Elevations and Enlarged Plans

- a. Toilet Accessories: Should these be Furnished By Owner (FBO) or provided by the Contractor? This includes items such as the TP dispenser, paper towel dispenser, mirrors, grab bars, etc.

These are to be provided by the contractor.

- b. Should these items be installed by the Contractor?

Yes.

23. Sheet A6.0 – Interior Elevations and Enlarged Plans

- a. Please provide specifications for the toilet accessories. Even if they are FBO, we still need to know what is being installed.

These are provided as part of the specifications.

24. Sheet A6.0 – Interior Elevations and Enlarged Plans

- a. Painted Homasote Pinable Wall: Should this be Furnished By Owner (FBO) or provided by the Contractor?

These are to be provided by the contractor.

- b. Welcome signage and interior door signage. FBO or provided by contractor?

The signage will be designed and FBO.

- c. Will these items be installed by the Contractor?

Yes.

25. Sheet A3.1 – Interior Elevations and Enlarged Plans.

- a. The construction drawings show two locations for Teacher Work areas. Should the base bid include electrical work in these areas for future workstations, even if the Add/Alts are not accepted?

The base bid should include the electrical rough-in.

- b. Should the base bid also include plumbing in these areas for future workstations, regardless of whether the Add/Alts are accepted?

The base bid should include plumbing rough-in.

- c. Based on the current drawings, these areas of the building are planned to receive electrical and plumbing, even if the Add/Alts are not accepted. There is no clarification on the MEP drawings.

See a & b of this question.

26. Sheet A5.0 – Classroom 1 Section

- a. Should the Add/Alt for the premanufactured cubbies and 3-tier rolling carts be lumped together in the same Add/Alt? Or are these separate Add/Alts?

Lump these items together

27. Sheet A5.0 – Classroom 1 Section

- a. Please provide a spec for the rolling carts.

The spec for this item is in the specifications.

28. Sheet A3.1 and Sheet S102

- a. Should the demising wall between the Storage and Server room be a W1 or W2? A3.1 and S102 do not align on the wall type.

Price a 6" wall per structural.

29. Sheet E0-1 – Electrical Cover Sheet

- a. A security system legend is provided on the Electrical drawings, but no security details are shown on the plans. Please confirm whether a security system is included in this scope of work.

[Provided by Owner.](#)

30. Bid Form

- a. Communications is currently crossed out on the bid form. Please confirm that communications is excluded from the Contractors scope.

[Provided by Owner.](#)

31. Bid Form

- a. Please update the bid form. The bid form is missing general conditions, demo, concrete.

[Please see updated Bid Sheet.](#)

32. Sheet A10.0 – Schedules

- a. Please provide specifications for the finishes to ensure all contractors can submit apples-to-apples bids. Without clear specifications, prices can vary significantly, with contractors potentially bidding different material grades, which could lead to discrepancies in the overall cost.

[Please refer to the specifications provided](#)

- b. Additionally, please provide specifications for LVT, Tile, Carpet, Cove Base, Wainscoting, and other relevant finishes.

[Please refer to the specifications provided](#)

- c. It is proposed that the finishes section be treated as an allowance item, which would allow CMC to be credited if the final selection is lower than

[This is not an allowance](#)