

CMC MINI COLLEGE REVOVATION

1402 BLAKE AVE

CD/PERMIT SET

COLORADO MOUTAIN COLLEGE AT GLENWOOD CENTER
IN GLENWOOD SPRINGS, COLORADO



Land+Shelter
ARCHITECTURE AND PLANNING
16 North 4th Street, Carbondale, CO 81623
1970.963.0201 info@landandshelter.com

ABBREVIATIONS

A.F.F.	ABOVE FINISH FLOOR	INFO.	INFORMATION
ADJ.	ADJUSTABLE	INSUL.	INSULATION
ALT.	ALTERNATE	JST.	JOIST
A.B.	ANCHOR BOLTS	LL	LIVE LOAD
&	AND	LONGINT.	LONGITUDINAL
ARCH.	ARCHITECTURAL	N.I.C.	NOT IN CONTRACT
@	AT	O.C.	ON CENTER
BM.	BEAM	OPP.	OPPOSITE
BM. PKT.	BEAM POCKET	O/	OVER
BRG.	BEARING	PTD.	PAINTED
BLK'G.	BLOCKING	PERF.	PERFORATED
BOT.	BOTTOM	PL	PLATE
B.F.	BOTTOM OF FOOTING	PLY.	PLYWOOD
BIDG.	BUILDING	PROP. LINE	PROPERTY LINE
B.O.	BY OWNER	REINF.	REINFORCEMENT
CAB.	CABINET	RDWD.	REDWOOD
CLG.	CEILING	REQ'D.	REQUIRED
CL.	CENTER LINE	RESIL.	RESILIENT
C.T.	CERAMIC TILE	REV.	REVISED
CLR.	CLEAR	S.M.	SHEET METAL
COL.	COLUMN	SIM.	SIMILAR
CONC.	CONCRETE	S.F. OR SQ. FT.	SQUARE FEET
CONN.	CONNECTION	STD.	STANDARD
CONT.	CONTINUOUS	STL.	STEEL
DTL.	DETAIL	STDS.	STUDS
DBL.	DOUBLE	THK.	THICK
DWL.	DOWEL	TLT.	TOILET
E.W.	EACH WAY	T.F.	TOP OF FOOTING
ELEV. OR EL.	ELEVATION	T.P.	TOP OF PLATE
EXIST'G	EXISTING	T.L.	TOP OF LEDGE
EXT.	EXTERIOR	T.W.	TOP OF WALL
F.F.	FINISHED FLOOR	TOT.	TOTAL
F.D.	FLOOR DRAIN	T.B.	TOWEL BAR
FIB.	FLOOR	TRANSV.	TRANSVERSE
FIG.	FOOTING	TYP.	TYPICAL
FND.	FOUNDATION	U.N.O.	UNLESS NOTED OTHERWISE
GA.	GALVE	V.I.F.	VERIFY IN FIELD
G.L.	GLU-LAM	VERT.	VERTICAL
GWB.	GYPSUM WALL BOARD	V.W.C.	VINYL WALL COVERING
G.S.	GAS STUB	W.C.	WATER CLOSET
HB.	HOSE BIB	W.H.	WATER HEATER
HT.	HEIGHT	W.P.	WATERPROOF
HK.	HOOK	W.R.	WATER RESISTANT
HORIZ.	HORIZONTAL	WIN.	WINDOW
HYD.	HYDRANT	W/	WITH
		WD.	WOOD

STATE OF COLORADO BUILDING REQUIREMENTS

CODES AND STANDARDS: 2021 IBC, IEBC, IECC, IFGC, IMC, IPC, IFC, 2023 NEC AND CMERSRC AS ADOPTED BY THE STATE OF COLORADO

ACCOUNT #: R311938

PARCEL ID: 218516100084

LEGAL DESCRIPTION: SECTION: 16 TOWNSHIP: 6 RANGE: 89; TRACT OF LAND IN NENE AMENDED PLAT OF ESPERANZA SUBDIVISION (REC 302942)

LOT AREA: 4.02 ACRES / 175,111 SF

USE OF BUILDING: POST SECONDARY EDUCATION, B-OCCUPANCY

TYPE OF WORK: REMODEL

TYPE OF CONSTRUCTION: 5B

GROUND SNOWLOAD: 50 PSF

SEISMIC DESIGN CATEGORY: B

WEATHERING PROBABILITY FOR CONCRETE: SEVERE

TERMITE INFESTATION PROBABILITY: SLIGHT TO MODERATE

WIND SPEED: 115MPH

DECAY PROBABILITY: NONE

WIND EXPOSURE: C

FROST DEPTH: 36IN.

WINTER DESIGN TEMPERATURE: MINUS 2F

AIR FREEZING INDEX: 1500. ICE SHIELD UNDERLAYMENT REQUIRED.

MEAN ANNUAL TEMPERATURE: 48F

CLIMATE ZONE: 6 (GARFIELD COUNTY)

SKYLIGHT INSULATION: U-FACTOR = 0.5 MIN, SHGC 0.4 MIN, CURB INSULATED TO R-5 (2021 IECC C402.2.1.5)

CONTACT INFORMATION

ARCHITECT:
Land+Shelter, Inc.
PO Box 550 (Mail) / 16 North 4th St. (Office)
Carbondale, CO 81623
Contact: Kendra Oester
Email: kendraoester@landandshelter.com
Cell Phone: 360-259-1038

OWNER:
Colorado Mountain College
802 Grand Avenue (Admin Offices)
Glenwood Springs, CO 81601
Contact: David Negrete,
Asst. Director of Facilities
Phone: 719-486-4220
Email: dnegrete@coloradomn.edu

STRUCTURAL ENGINEER:
SGM Engineering
118 W Sixth St., Suite 200
Glenwood Springs, CO 81601
Phone: 970-384-9035
Contact: John E. Partch, PE
Email: johnp@sgm-inc.com

MEP ENGINEER:
Big Horn Consulting Engineers
386 Indian Road
Grand Junction, CO 81501
Phone: 970-241-8709
Contact: Mark Harrington
Email: mark@bighorneng.com

DRAWING INDEX

GENERAL:	A1.0	COVER SHEET - PROJECT INFO.
	A1.1	LIFE SAFETY & AREA OF WORK
ARCHITECTURAL:	A3.0	EXISTING & DEMO PLAN
	A3.1	NEW PLAN
	A3.2	ROOF PLAN
	A3.3	DEMO AND NEW RCP
	A5.0	BUILDING SECTIONS
	A6.0	INTERIOR ELEVATIONS AND ENLARGED PLANS
	A7.0	DETAILS
	A10.0	SCHEDULES
STRUCTURAL:	S001	GENERAL NOTES AND ANNOTATIONS
	S102	FIRST FLOOR WALL AND ROOF FRAMING PLAN
MEP:	E0-1	ELECTRICAL COVERSHEET
	E1-1 D	LIGHTING- DEMO FLOOR PLAN
	E1-1 N	LIGHTING FLOOR PLAN
	E2-1 D	ELECTRICAL - EXISTING FLOOR PLAN
	E2-1 N	ELECTRICAL-FLOOR
	E3-1	ELECTRICAL-DETAILS
	M0-0	MECHANICAL COVER SHEET
	M1-0	MECHANICAL NEW AND DEMO PLAN
	M1-1	MECHANICAL - PLAN
	M3-1	MECHANICAL SCHEDULES
	P0-1	PLUMBING COVER SHEET
	P1-1	PLUMBING PLAN
	P3-1	PLUMBING SCHEDULES

NOTICE/DUTY OF COOPERATION

Release of these plans contemplates further cooperation among the owner, his or her contractor, and the architect. Design and construction are complex. Although the architect and his/her consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the architect shall relieve the architect from responsibility for all consequences. Changes made from the plans without consent of the architect are unauthorized and shall relieve the designer from all consequences arising out of such changes.

CD/PERMIT SET
JANUARY 7TH, 2025
Revisions

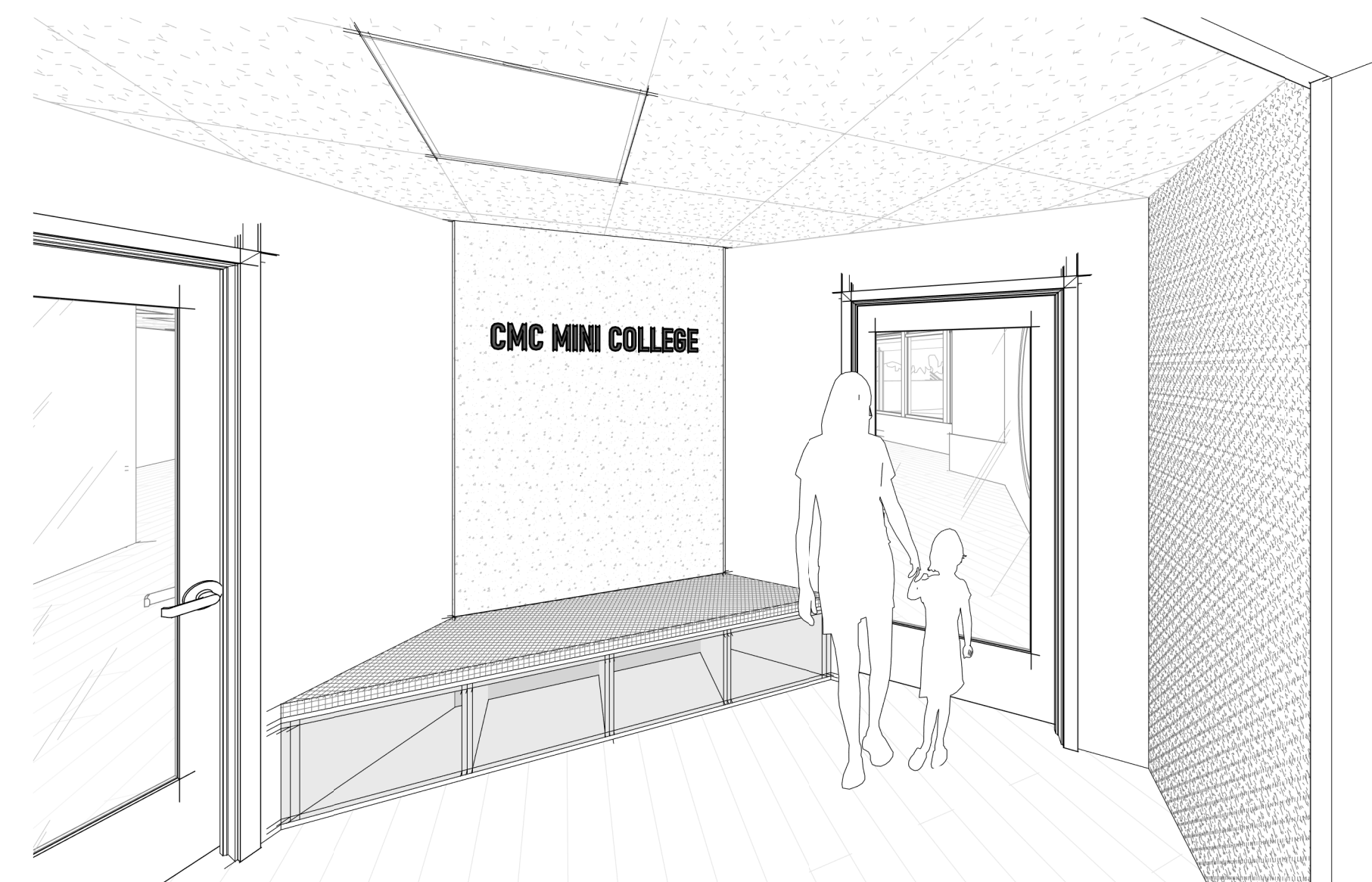


PROJECT DESCRIPTION

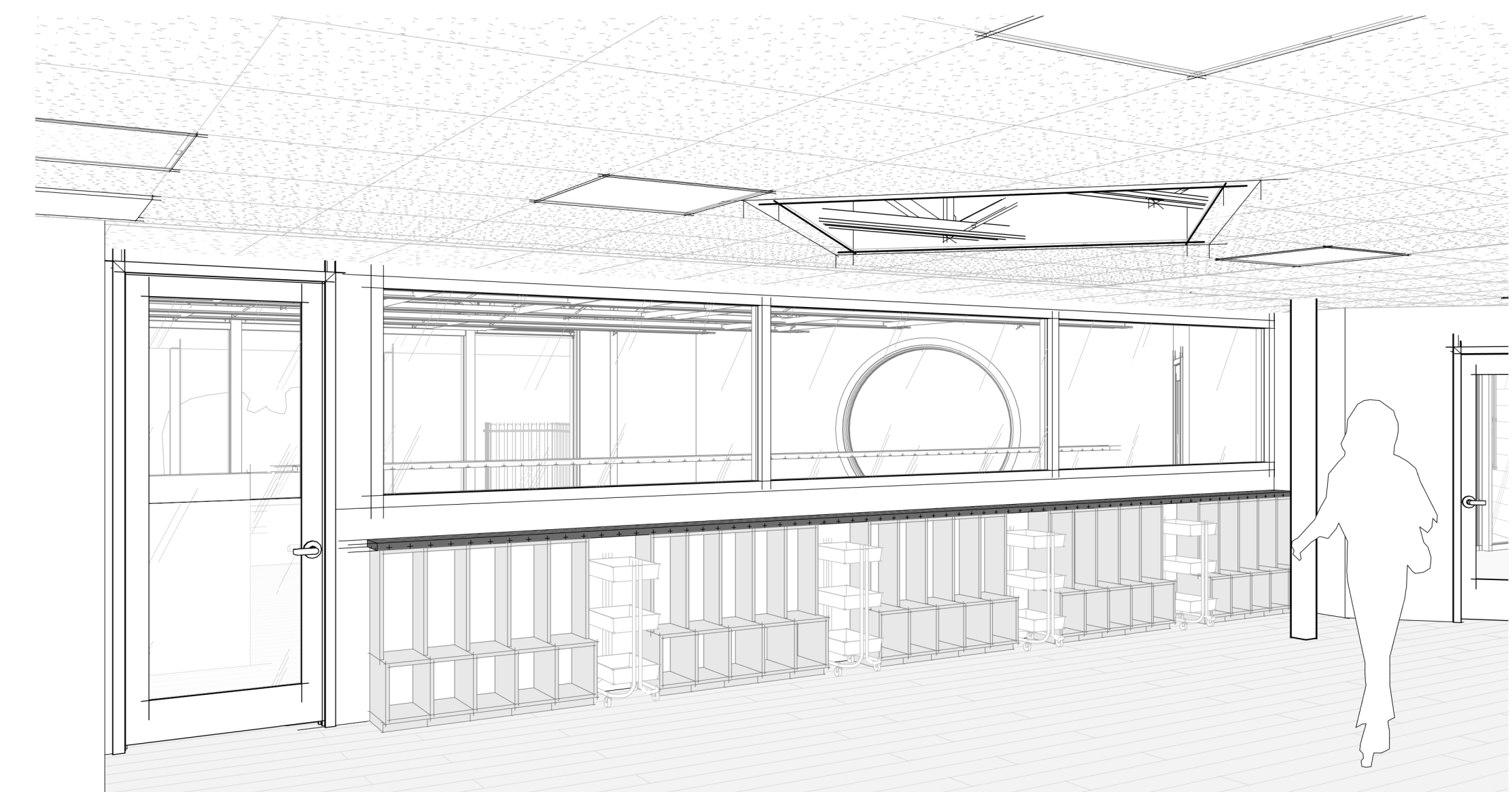
REMODEL OF A PORTION OF THE GROUND LEVEL FLOOR OF THE CMC GLENWOOD CENTER INCLUDING HVAC AND FINISH WORK. THE REMODEL ENCOMPASSES 3000SF AND INCLUDES SOME REMOVAL AND ADDITION OF NON-STRUCTURAL INTERIOR PARTITIONS. THE MAIN PROGRAMMATIC PURPOSE OF THE REMODEL IS TO ADD A CLASSROOM TO THE EXISTING EARLY CHILDHOOD EDUCATION CENTER ON THE MAIN LEVEL, WHICH IS CURRENTLY A SINGLE CLASSROOM. AFTER THIS RENOVATION IT WILL BE A TWO-CLASSROOM EDUCATION CENTER WITH A THIRD FLEXIBLE SPACE WITH LAUNDRY AND STORAGE. THE NEW CLASSROOM INCLUDES TWO BATHROOMS FOR CHILDREN. THE RENOVATION INCLUDES SOME REORGANIZATION OF EXISTING SMALL OFFICES AND A SKYLIGHT AS WELL. THE SKYLIGHT IS REPLACING AN OLDER SKYLIGHT, WHICH WAS ORIGINAL TO THE BUILDING, BUT REMOVED AT SOME POINT IN THE HISTORY OF THE BUILDING, DATE UNCERTAIN.



LOCATION MAP



ENTRY INTERIOR



CLASSROOM 2 INTERIOR

CMC MINI COLLEGE REVOVATION
1402 BLAKE AVE
CD/PERMIT SET



Job Site:
1402 BLAKE AVE
GLENWOOD SPRINGS,
COLORADO 81601

COVER SHEET - PROJECT
INFO.

Sheet Number:

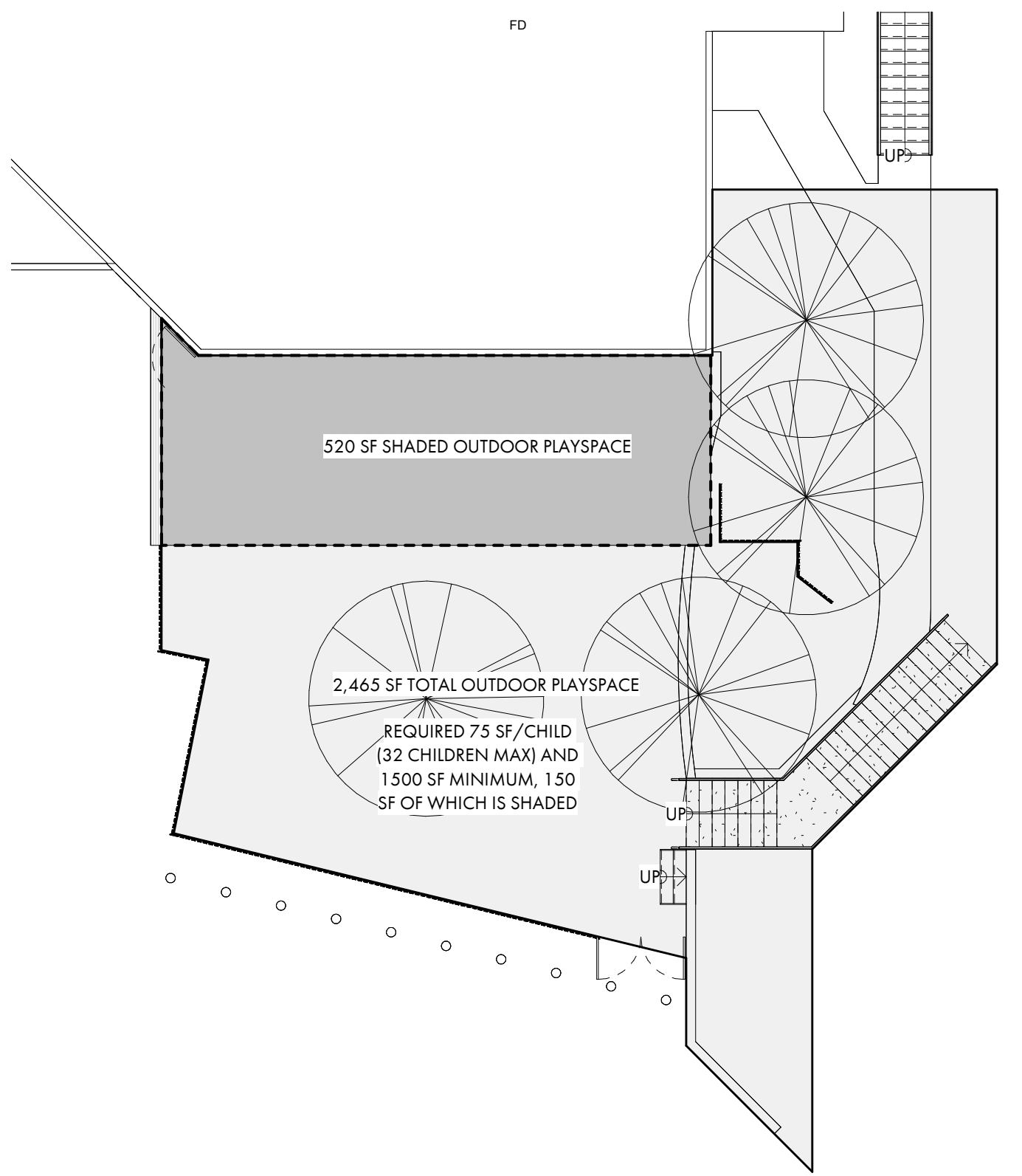
A1.0



Land+Shelter
ARCHITECTURE AND PLANNING
16 North 4th Street, Carbondale, CO 81623
1970.963.0201 info@landandshelter.com

OCCUPANCY/EGRESS							
NAME	AREA	OCCUPANCY TYPE	AREA PER OCCUPANTS	OCCUPANTS	MAX ACTUAL TRAVEL	MAX ALLOWABLE TRAVEL	CODE NOTES
CLASSROOM 1	779 SF	E-EDUCATION	EDUCATION - 20 NET	39	102'-10"	250'-0"	
CLASSROOM 2	620 SF	E-EDUCATION	EDUCATION - 20 NET	31	117'-11"	250'-0"	
ENTRY	85 SF	B-BUSINESS	BUSINESS - 150 GROSS	1	16'-3"	300'-0"	
FLEX	551 SF	E-EDUCATION	EDUCATION - 20 NET	28	130'-7"	250'-0"	
MINI-COLLEGE OFFICE	80 SF	B-BUSINESS	BUSINESS - 150 GROSS	1	81'-6"	300'-0"	
RECEPTION OFFICE	114 SF	B-BUSINESS	BUSINESS - 150 GROSS	2	69'-5"	300'-0"	OCCUPANCY SET BY NUMBER OF DESK CHAIRS - HIGHER THAN REQUIRED BY OCCUPANCY AREA
SERVER	122 SF	B-BUSINESS	BUSINESS - 150 GROSS	1	96'-3"	300'-0"	
STORAGE	115 SF	B-BUSINESS	BUSINESS - 150 GROSS	1	85'-9"	250'-0"	ACCESSORY OCCUPANCY
				104			

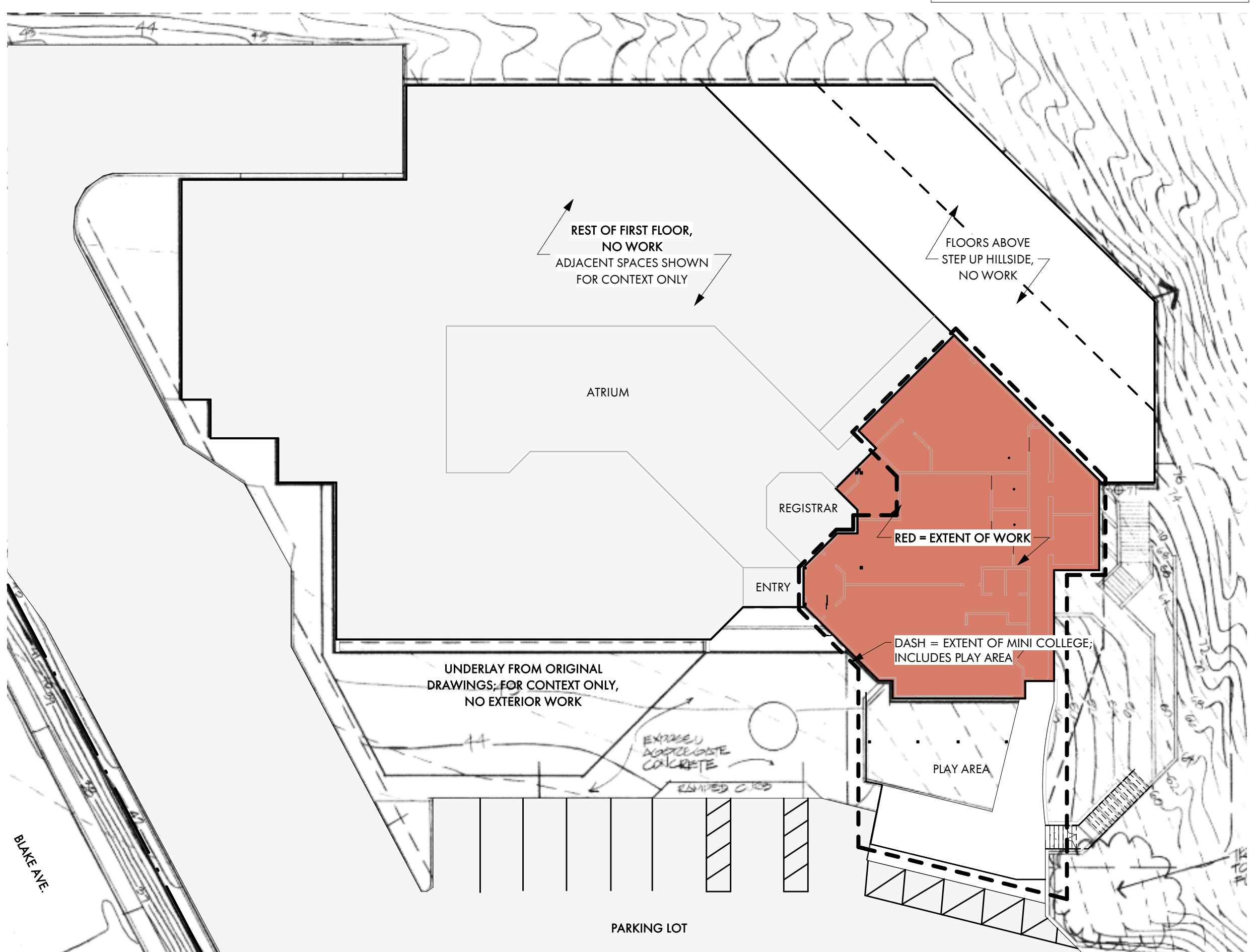
CODE NOTES:
FIRE SPRINKLERS: YES
ORIGINAL BUILDING OCCUPANCY TYPE: NON-SEPERATED B-BUSINESS AND E-EDUCATION
NEW BUILDING OCCUPANCY TYPE: NO CHANGE
CHANGE IN ROOM OCCUPANCY TYPE: CLASSROOM 2 AND FLEX ARE CHANGING FROM B-BUSINESS TO E-EDUCATION DUE TO THE OCCUPANT AGE SHIFT.
NEW OCCUPANT LOAD: THESE ROOMS ARE NOT SHIFTING IN OCCUPANT LOAD, GOING FROM A CLASSROOM USE TO A CLASSROOM USE. PLUMBING CALCS & OCCUPANTS EGRESSING TO BUILDING FRONT DOOR ARE NOT CHANGED. CLASSROOM 1 WAS ORIGINALLY E-EDUCATION OCCUPANCY AND IS NOT CHANGING.



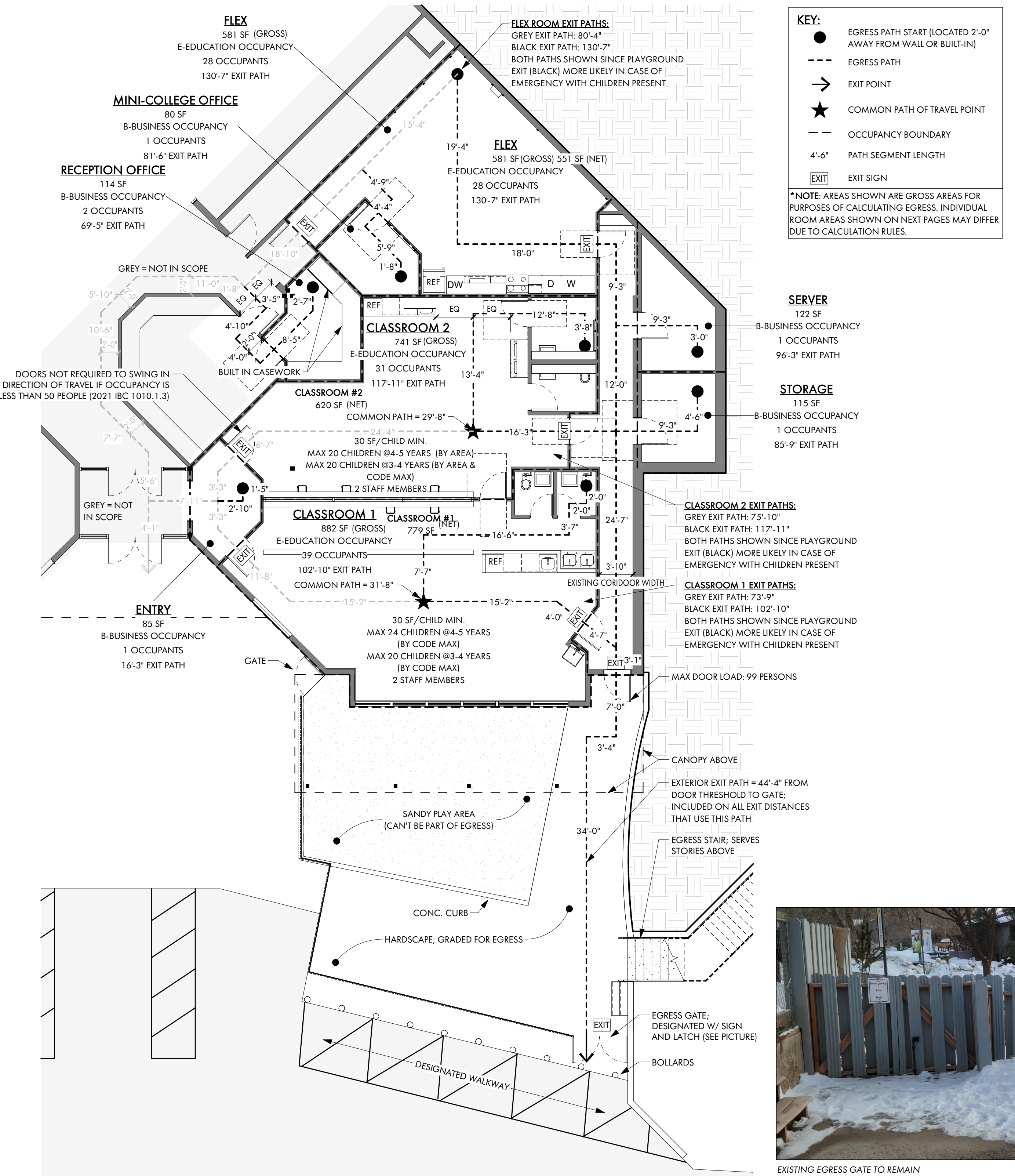
FLOOR AREA SUMMARY	
TOTAL BUILDING AREA (GROSS)	31,870 SF
RENOVATION:	3,013 SF
MINI COLLEGE	2,899 SF
RECEPTION OFFICE	114 SF

OUTDOOR PLAYSPACE PROVIDED
1" = 10'-0" 3

CODE NOTES:
2021 INTERNATIONAL EXISTING BUILDING CODE: LESS THAN 50% OF BUILDING IN AREA OF WORK, TYPE II ALTERATION



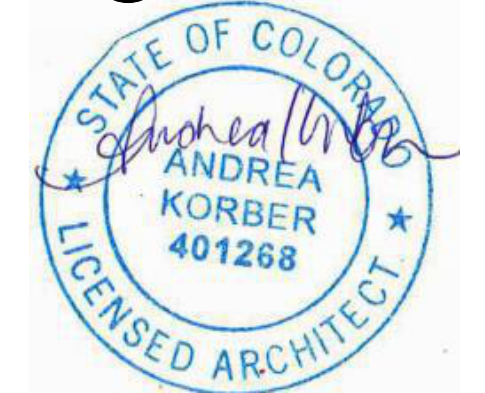
AREA OF WORK
1" = 20'-0" 2



KEY:
● EGRESS PATH START (LOCATED 2'-0" AWAY FROM WALL OR BUILT-IN)
--- EGRESS PATH
➔ EXIT POINT
★ COMMON PATH OF TRAVEL POINT
--- OCCUPANCY BOUNDARY
4'-6" PATH SEGMENT LENGTH
EXIT EXIT SIGN
*NOTE: AREAS SHOWN ARE GROSS AREAS FOR PURPOSES OF CALCULATING EGRESS. INDIVIDUAL ROOM AREAS SHOWN ON NEXT PAGES MAY DIFFER DUE TO CALCULATION RULES.

NOTICE/DUTY OF COOPERATION
Release of these plans contemplates further cooperation among the owner, his or her contractor, and the architect. Design and construction are complex. Although the architect and his/her consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a single notice to the architect shall relieve the architect from responsibility for all consequences. Changes made from the plans without consent of the architect are unauthorized and shall relieve the designer from all consequences arising out of such changes.
CD/PERMIT SET
JANUARY 7TH, 2025
Revisions

CMC MINI COLLEGE RENOVATION
1402 BLAKE AVE
CD/PERMIT SET



Job Site:
1402 BLAKE AVE
GLENWOOD SPRINGS,
COLORADO 81601

LIFE SAFETY & AREA OF WORK

Sheet Number:

A1.1



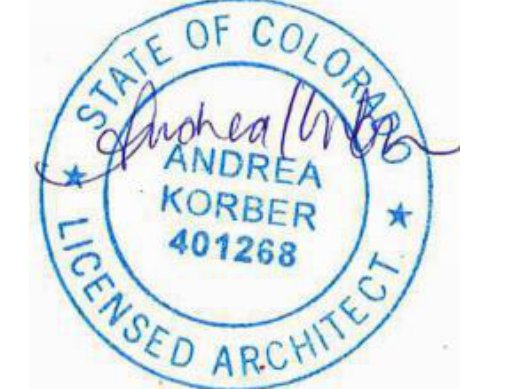
Land+Shelter
 ARCHITECTURE AND PLANNING
 16 North 4th Street, Carbondale, CO 81623
 1970.963.0201 info@landandshelter.com

NOTICE: DUTY OF COOPERATION
 Release of these plans contemplates further cooperation among the owner, his or her contractor, and the architect. Design and construction are complex. Although the architect and his/her consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the architect shall relieve the architect from responsibility for all consequences. Changes made from the plans without consent of the architect are unauthorized and shall relieve the designer from all consequences arising out of such changes.

CD/PERMIT SET
 JANUARY 7TH, 2025
 Revisions



CMC MINI COLLEGE REVOLUTION
1402 BLAKE AVE
CD/PERMIT SET

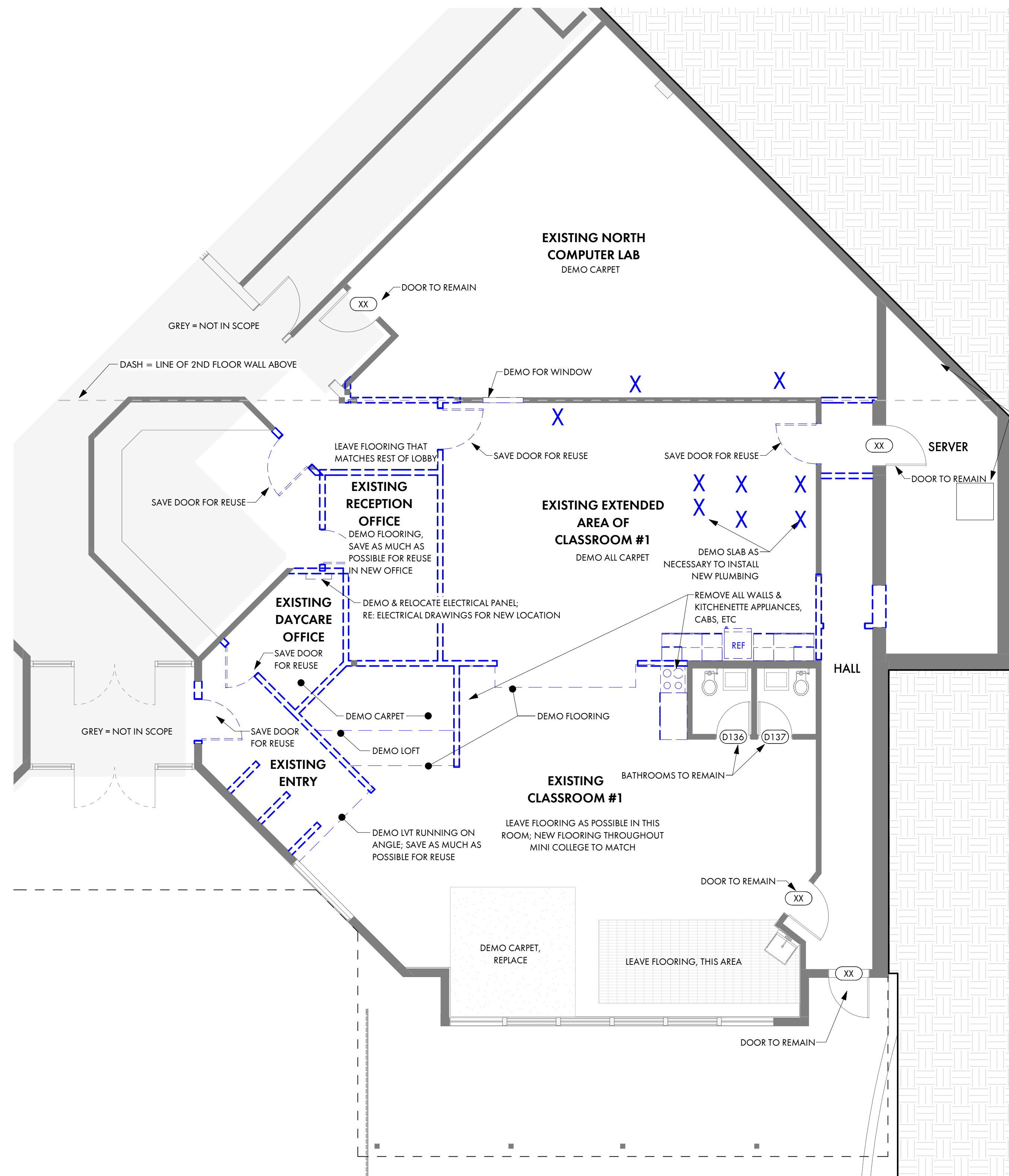


Job Site:
 1402 BLAKE AVE
 GLENWOOD SPRINGS,
 COLORADO 81601

EXISTING & DEMO PLAN

Sheet Number:

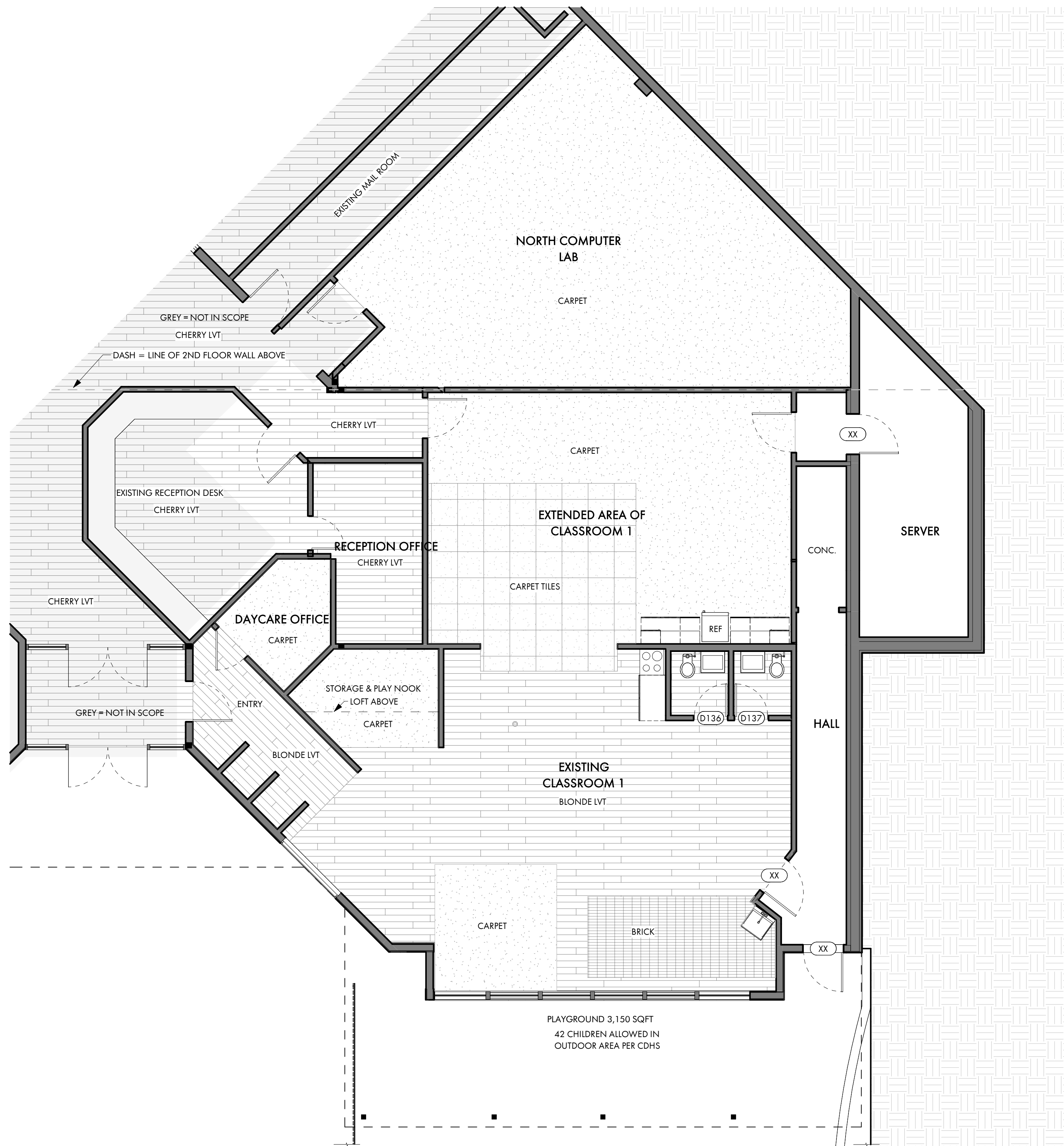
A3.0



DEMO PLAN 2
 3/16" = 1'-0"

FLOOR PLAN KEY:

- EXISTING / EXISTING TO REMAIN
- DEMO
- EXISTING COLUMN TO REMAIN (APPROX. LOCATION)
- PROPOSED NEW PLUMBING FIXTURE (SEE PROPOSED PLAN FOR FIXTURE TYPES ALL ROOMS)



EXISTING PLAN 1
 3/16" = 1'-0"



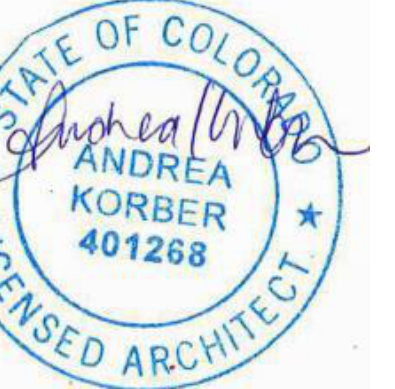
Land+Shelter
ARCHITECTURE AND PLANNING
16 North 4th Street, Carbondale, CO 81623
1970.963.0201 info@landandshelter.com

NOTICE/DUTY OF COOPERATION
Release of these plans contemplates further cooperation among the owner, his or her contractor, and the architect. Design and construction are complex. Although the architect and his/her consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the architect shall relieve the architect from responsibility for all consequences. Changes made from the plans without consent of the architect are unauthorized and shall relieve the designer from all consequences arising out of such changes.

CD/PERMIT SET
JANUARY 7TH, 2025
Revisions



**CMC MINI COLLEGE RENOVATION
1402 BLAKE AVE
CD/PERMIT SET**



Job Site:
1402 BLAKE AVE
GLENWOOD SPRINGS,
COLORADO 81601

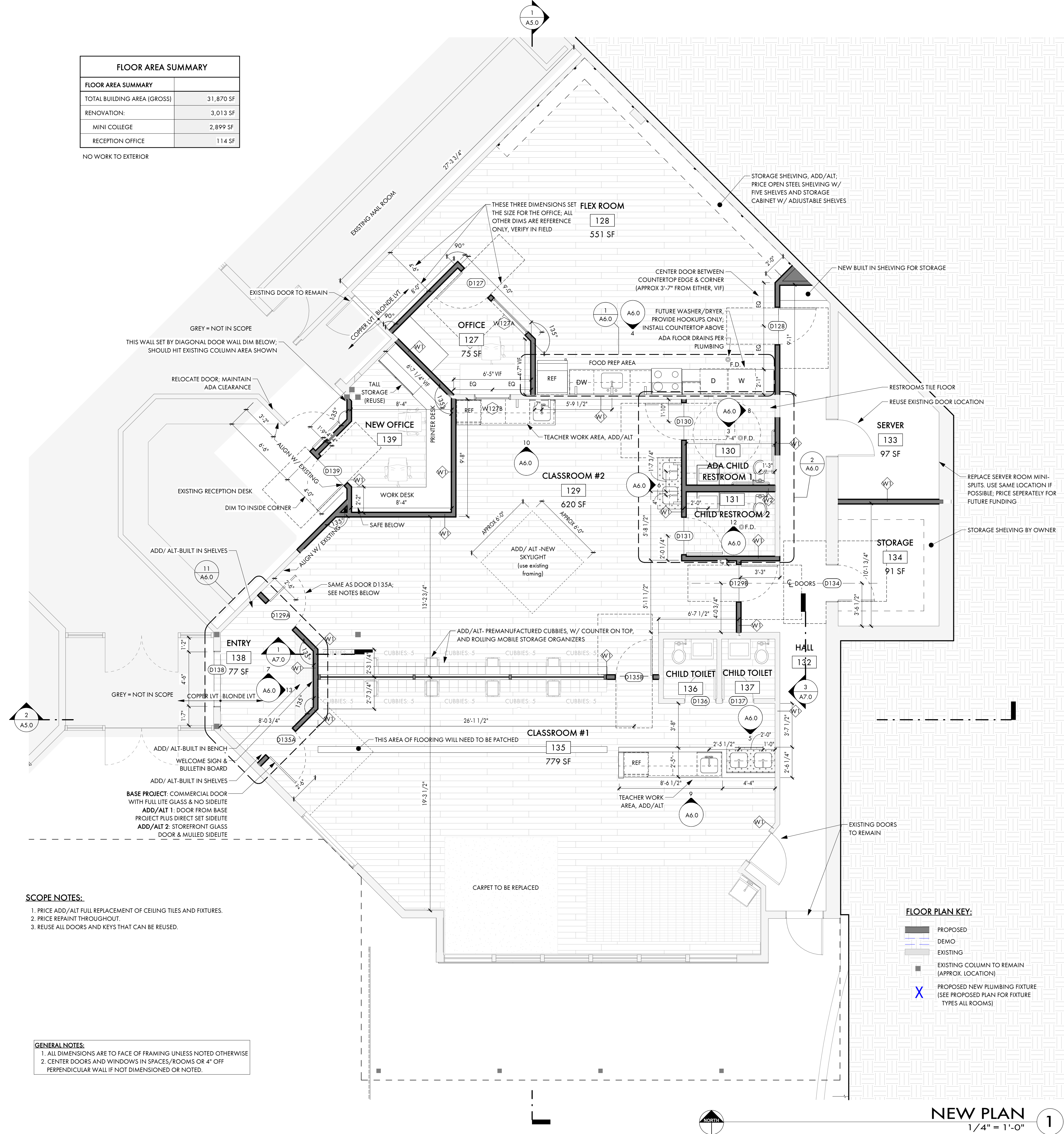
NEW PLAN

Sheet Number:

A3.1

FLOOR AREA SUMMARY	
FLOOR AREA SUMMARY	
TOTAL BUILDING AREA (GROSS)	31,870 SF
RENOVATION:	3,013 SF
MINI COLLEGE	2,899 SF
RECEPTION OFFICE	114 SF

NO WORK TO EXTERIOR



SCOPE NOTES:
1. PRICE ADD/ALT FULL REPLACEMENT OF CEILING TILES AND FIXTURES.
2. PRICE REPAINT THROUGHOUT.
3. REUSE ALL DOORS AND KEYS THAT CAN BE REUSED.

GENERAL NOTES:
1. ALL DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE
2. CENTER DOORS AND WINDOWS IN SPACES/ROOMS OR 4" OFF PERPENDICULAR WALL IF NOT DIMENSIONED OR NOTED.



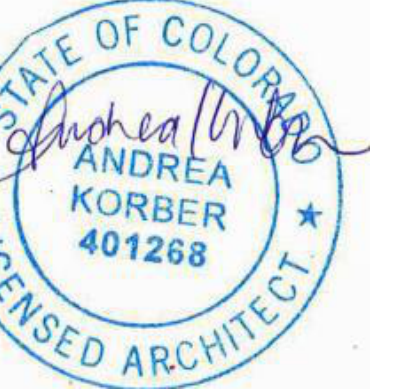
Land+Shelter
 ARCHITECTURE AND PLANNING
 16 North 4th Street, Carbondale, CO 81623
 1970.963.0201 | info@landandshelter.com

NOTICE: DUTY OF COOPERATION
 Release of these plans contemplates further cooperation among the owner, his or her contractor, and the architect. Design and construction are complex. Although the architect and his/her consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the architect shall relieve the architect from responsibility for all consequences. Changes made from the plans, without consent of the architect are unauthorized and shall relieve the designer from all consequences arising out of such changes.

CD/PERMIT SET
 JANUARY 7TH, 2025
 Revisions



CMC MINI COLLEGE REVOLUTION
1402 BLAKE AVE
CD/PERMIT SET

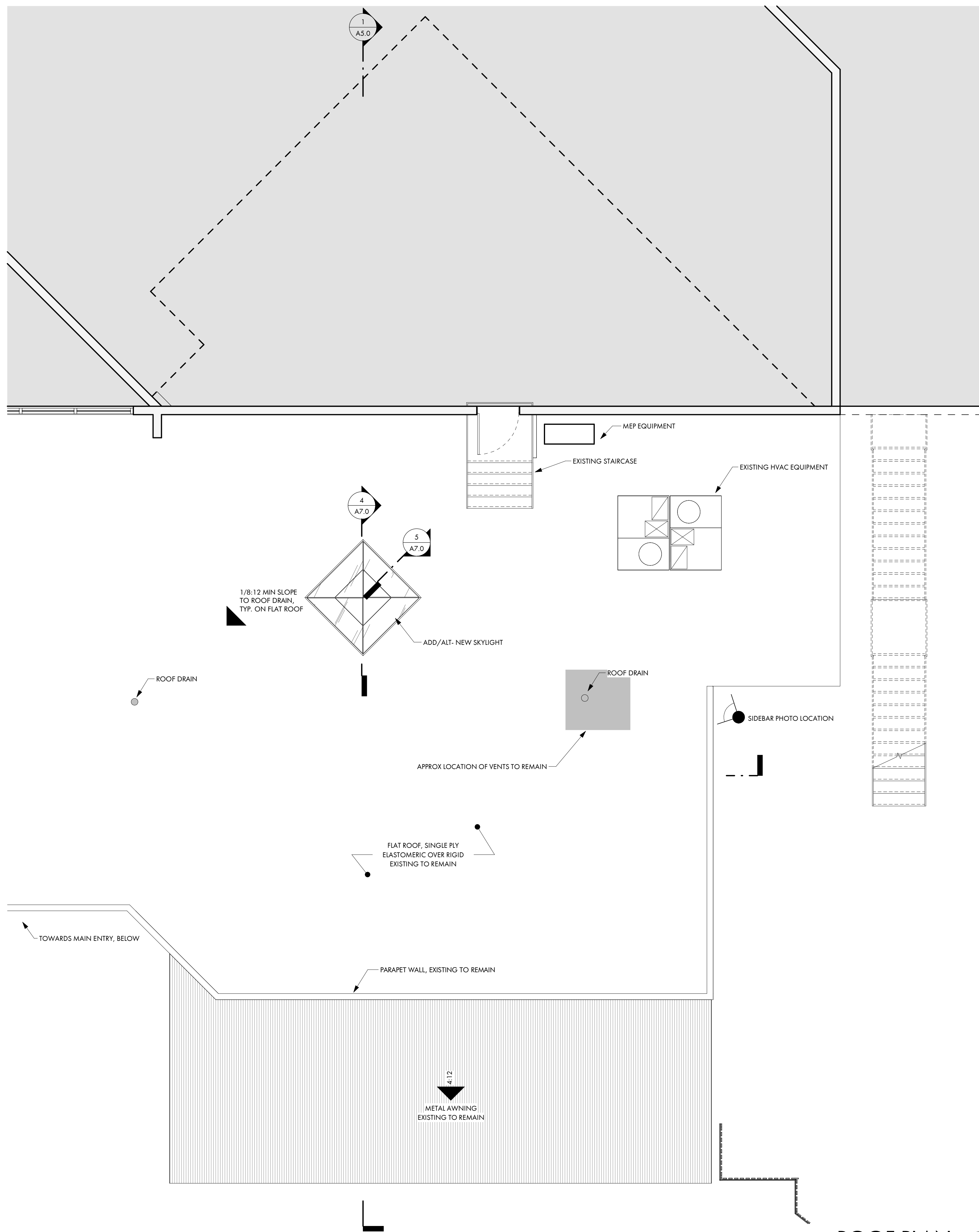


Job Site:
 1402 BLAKE AVE
 GLENWOOD SPRINGS,
 COLORADO 81601

ROOF PLAN

Sheet Number:

A3.2



EXISTING ROOF CONDITION ABOVE MINI COLLEGE. SEE DRAWING FOR PHOTO LOCATION REFERENCE



Land+Shelter
ARCHITECTURE AND PLANNING
16 North 4th Street, Carbondale, CO 81623
1970.963.0201 info@landandshelter.com

NOTICE OF COOPERATION
Release of these plans contemplates further cooperation among the owner, his or her contractor, and the architect. Design and construction are complex. Although the architect and his/her consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the architect shall relieve the architect from responsibility for all consequences. Changes made from the plans without consent of the architect are unauthorized and shall relieve the designer from all consequences arising out of such changes.

CD/PERMIT SET
JANUARY 7TH, 2025
Revisions



CMC MINI COLLEGE REVOLUTION
1402 BLAKE AVE
CD/PERMIT SET



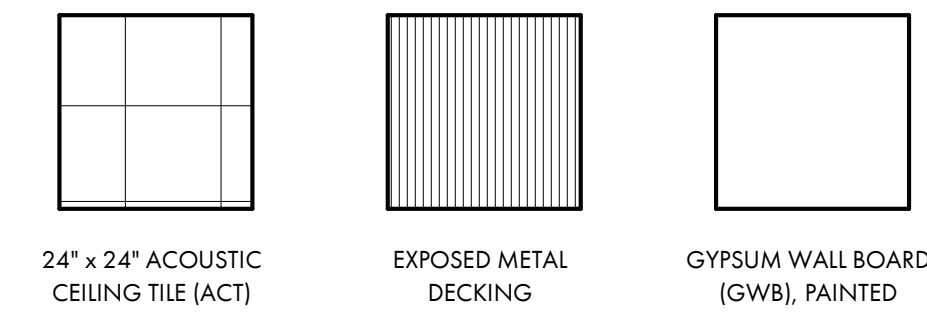
Job Site:
1402 BLAKE AVE
GLENWOOD SPRINGS,
COLORADO 81601

DEMO AND NEW RCP

Sheet Number:

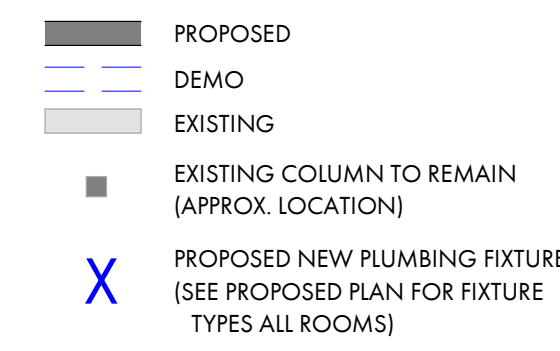
A3.3

MATERIAL LEGEND

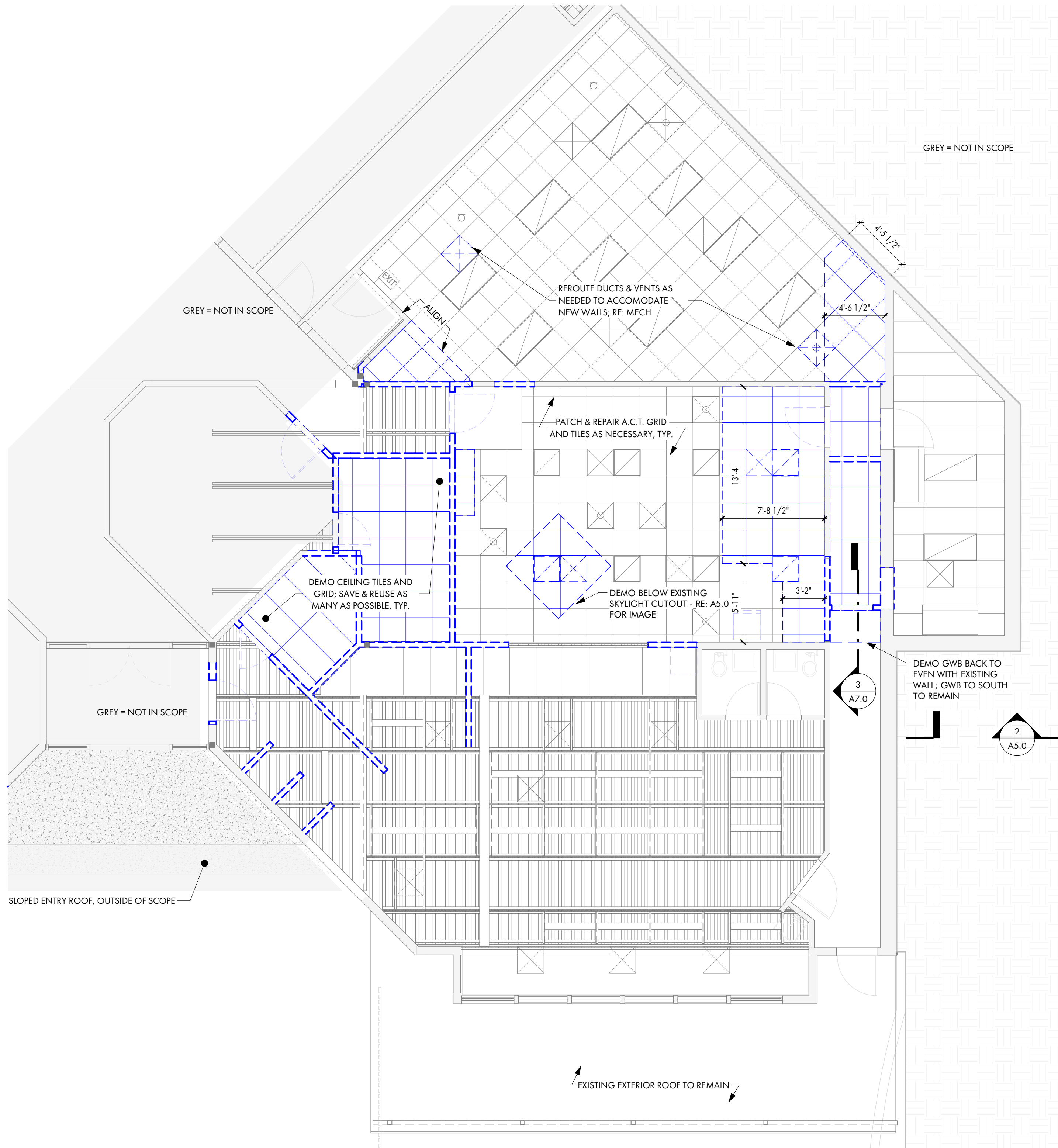
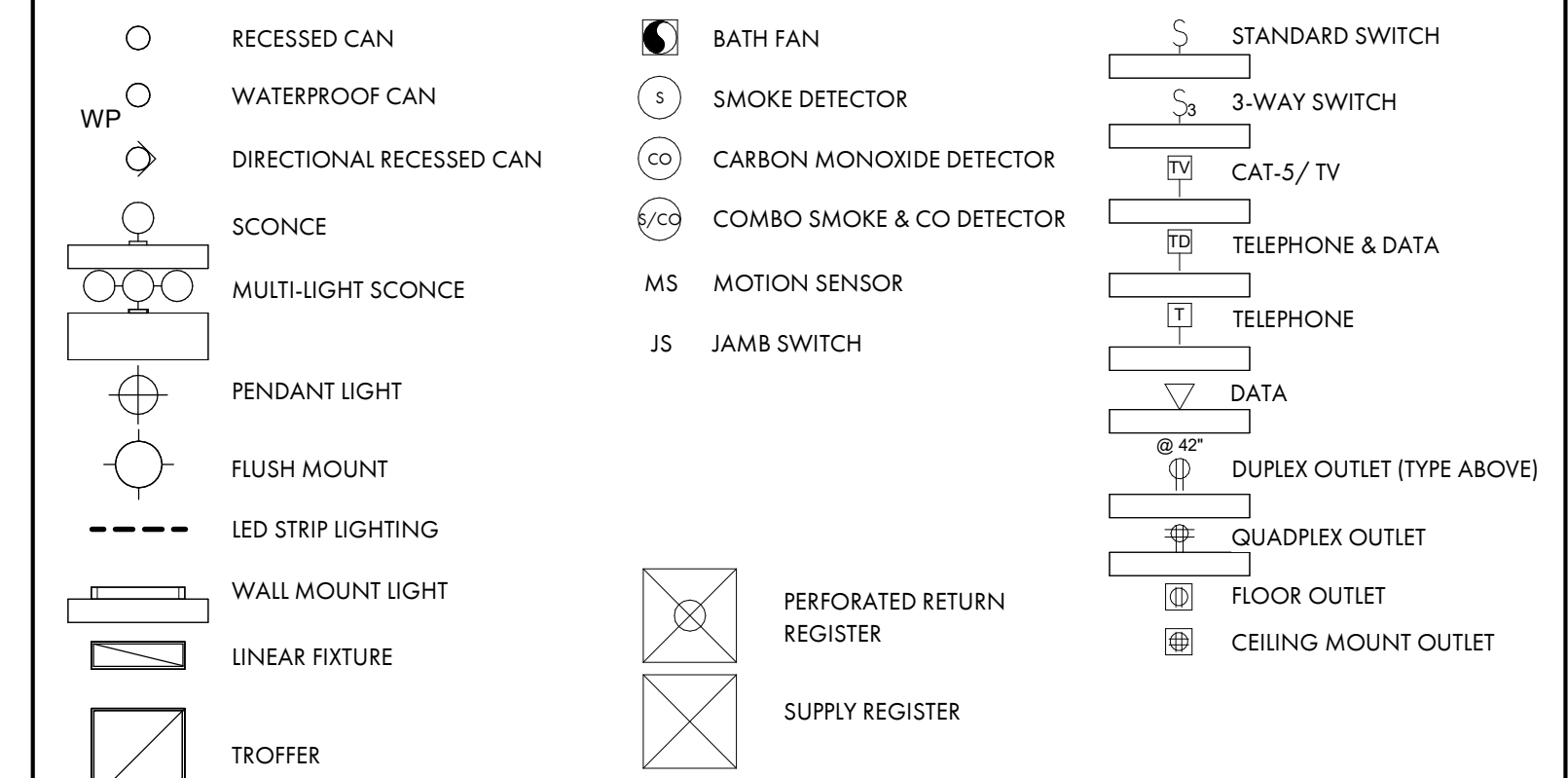


- GENERAL NOTES:**
1. PROVIDE SMOKE DETECTORS IN ALL LOCATIONS REQUIRED BY CODE
 2. PROVIDE CO DETECTORS IN ALL LOCATIONS REQUIRED BY CODE
 3. FIRE SPRINKLER HEADS TO BE COORDINATED WITH TRUSSES, LIGHTING, MECHANICAL VENTING AND SOFFITS.
 4. PATCH AND REPAIR A.C.T. CEILING GRID AND TILES AS NECESSARY; REUSE AS MUCH AS POSSIBLE FROM DECONSTRUCTION

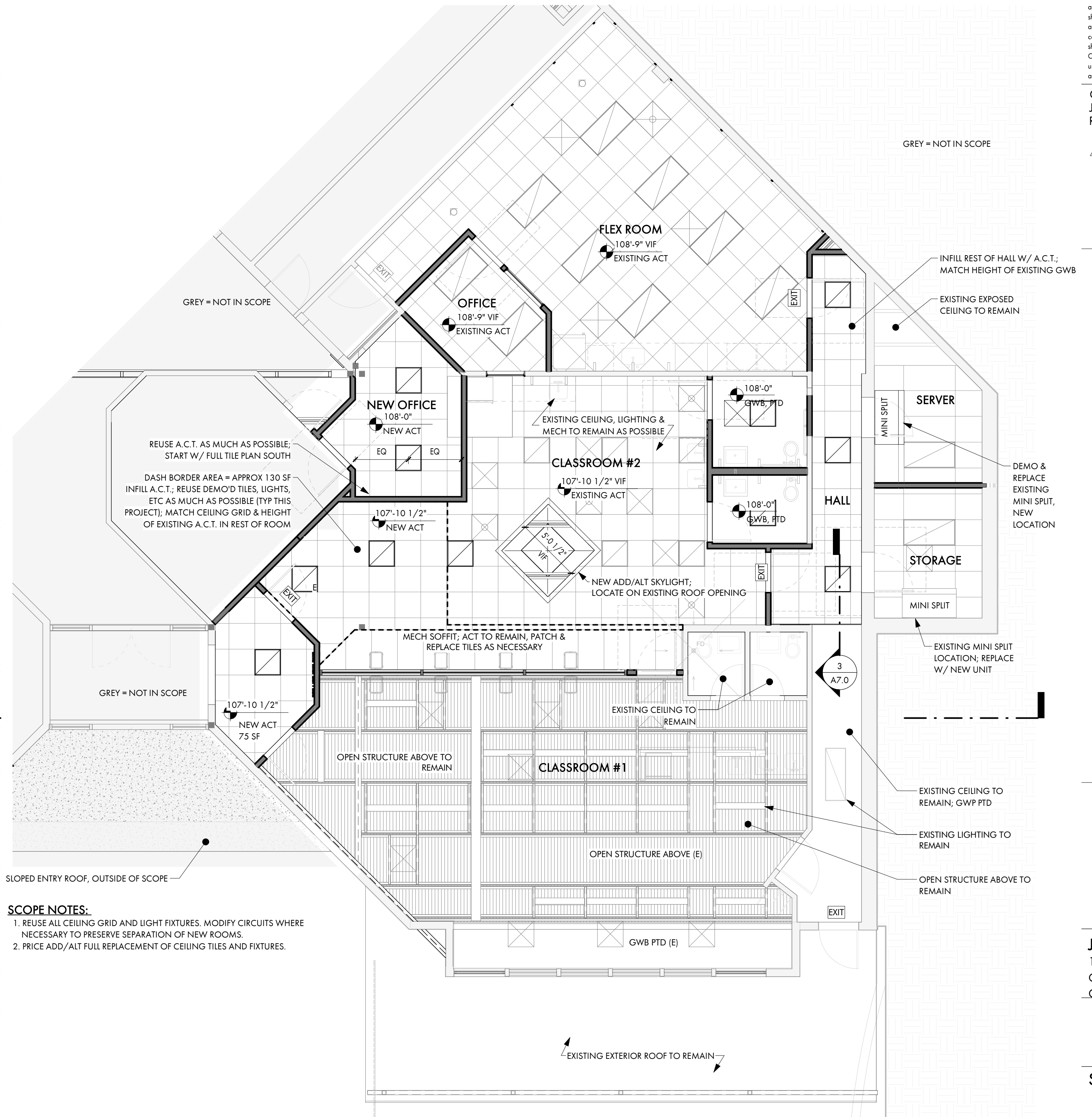
FLOOR PLAN KEY:



LIGHTING FIXTURE KEY



RCP DEMO
3/16" = 1'-0" **2**



RCP NEW
3/16" = 1'-0" **1**

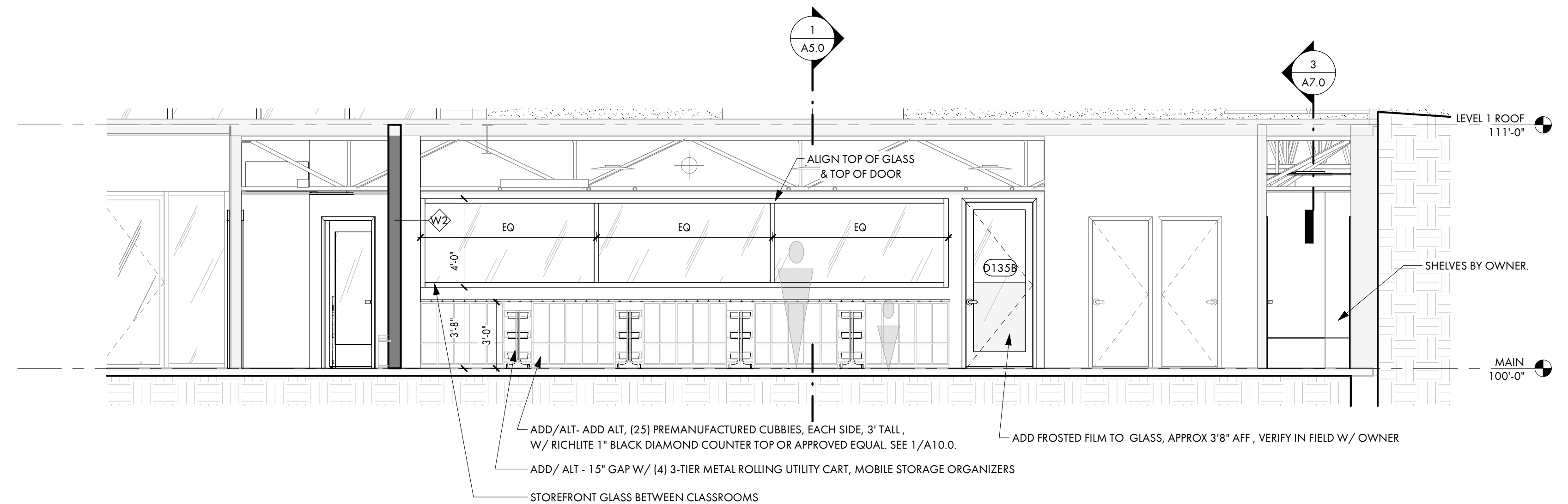
- SCOPE NOTES:**
1. REUSE ALL CEILING GRID AND LIGHT FIXTURES. MODIFY CIRCUITS WHERE NECESSARY TO PRESERVE SEPARATION OF NEW ROOMS.
 2. PRICE ADD/ALT FULL REPLACEMENT OF CEILING TILES AND FIXTURES.



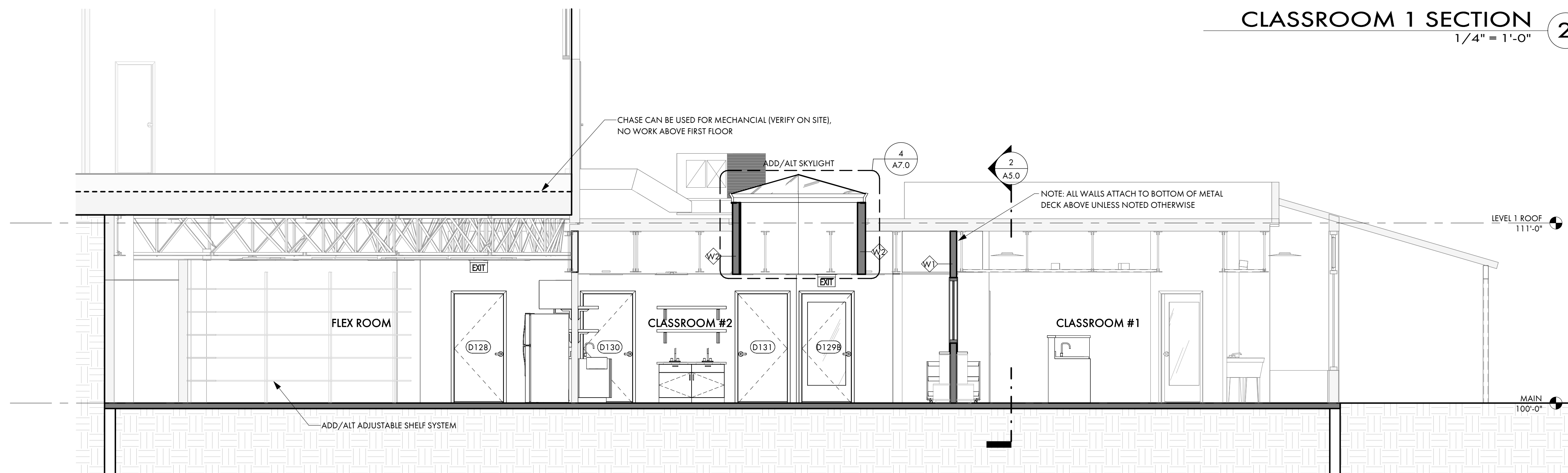
Land+Shelter
 ARCHITECTURE AND PLANNING
 16 North 4th Street, Carbondale, CO 81623
 1970.963.0201 | info@landandshelter.com

NOTICE: DUTY OF COOPERATION
 Release of these plans contemplates further cooperation among the owner, his or her contractor, and the architect. Design and construction are complex. Although the architect and his/her consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the architect shall relieve the architect from responsibility for all consequences. Changes made from the plans, without consent of the architect are unauthorized and shall relieve the designer from all consequences arising out of such changes.

CD/PERMIT SET
 JANUARY 7TH, 2025
 Revisions

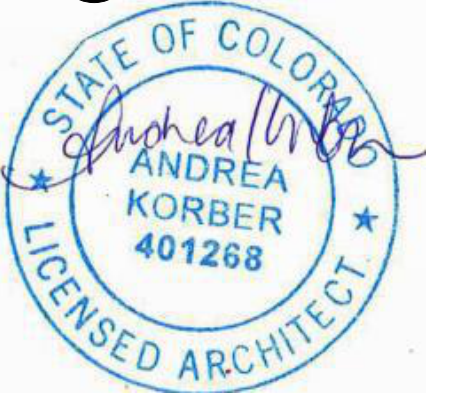


CLASSROOM 1 SECTION
 1/4" = 1'-0" (2)



N/S SECTION
 1/4" = 1'-0" (1)

CMC MINI COLLEGE RENOVATION
1402 BLAKE AVE
CD/PERMIT SET



Job Site:
 1402 BLAKE AVE
 GLENWOOD SPRINGS,
 COLORADO 81601

BUILDING SECTIONS

Sheet Number:

A5.0



Land+Shelter
ARCHITECTURE AND PLANNING
16 North 4th Street, Carbondale, CO 81623
1970.963.0201 info@landandshelter.com

NOTICE/DUTY OF COOPERATION
Release of these plans contemplates further cooperation among the owner, his or her contractor, and the architect. Design and construction are complex. Although the architect and his/her consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the architect shall relieve the architect from responsibility for all consequences. Changes made from the plans without consent of the architect are unauthorized and shall relieve the designer from all consequences arising out of such changes.

CD/PERMIT SET
JANUARY 7TH, 2025
Revisions

CMC MINI COLLEGE REVOLUTION
1402 BLAKE AVE
CD/PERMIT SET

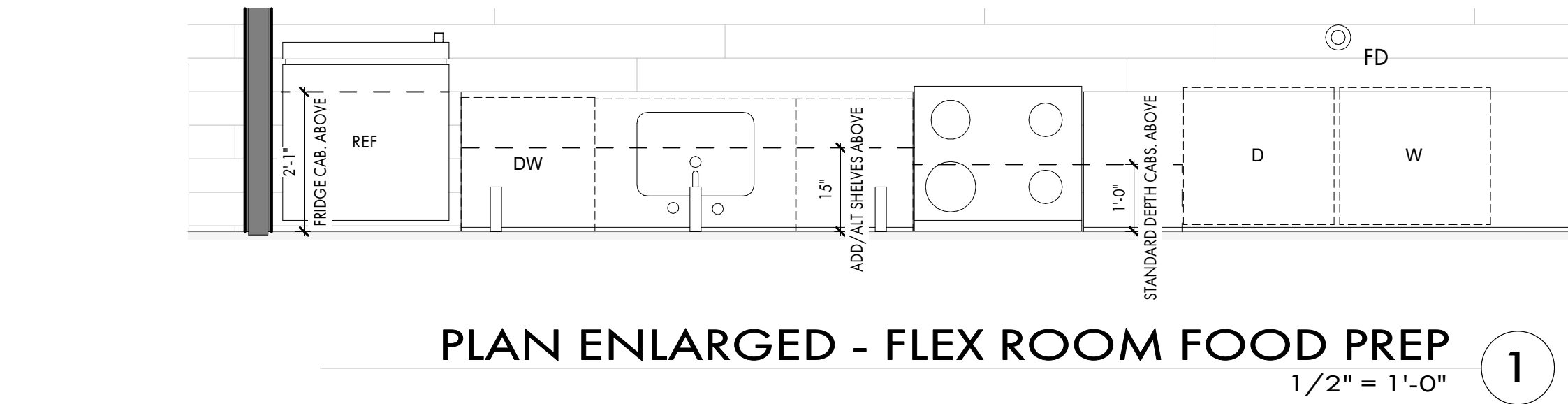
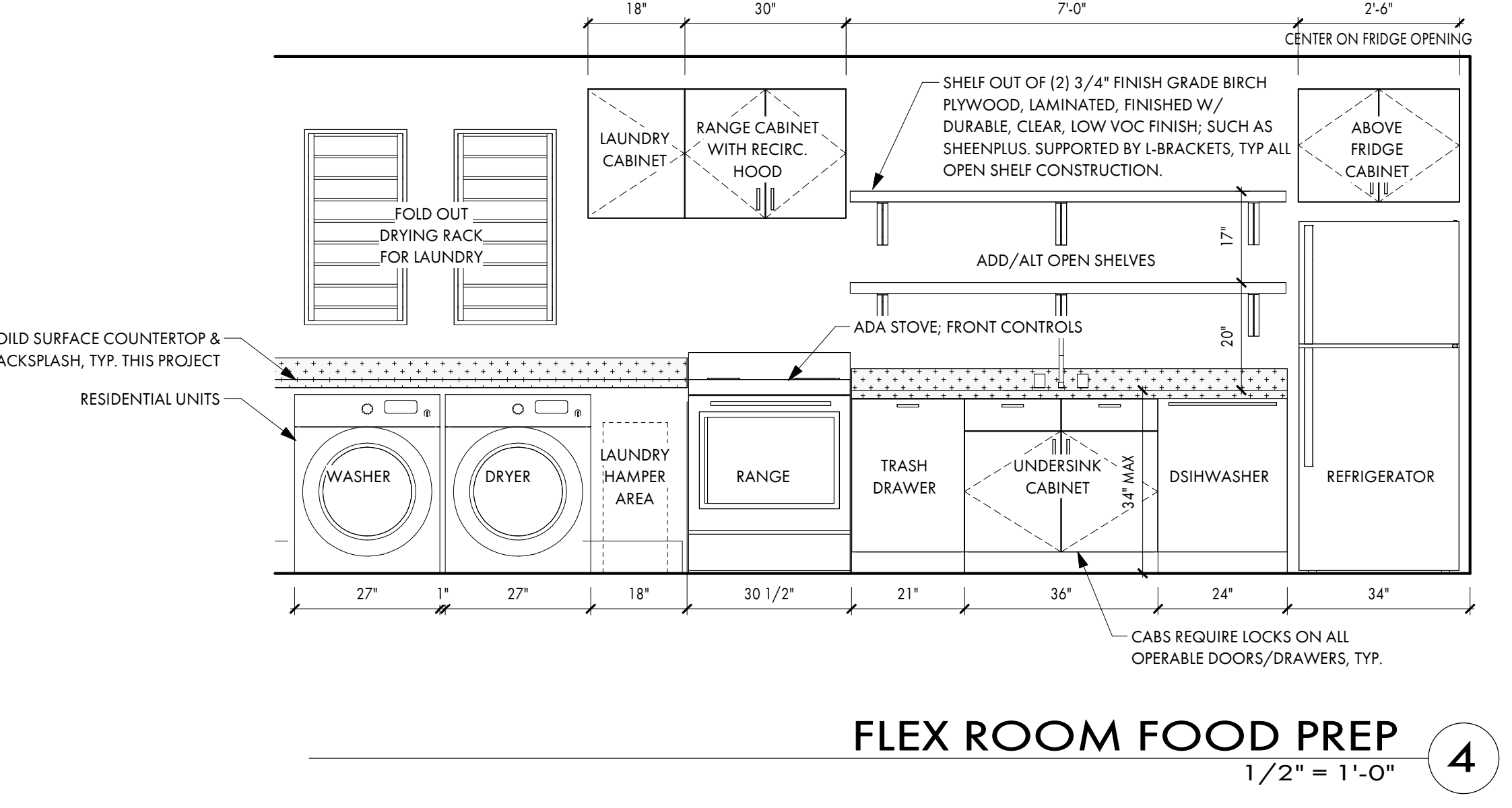
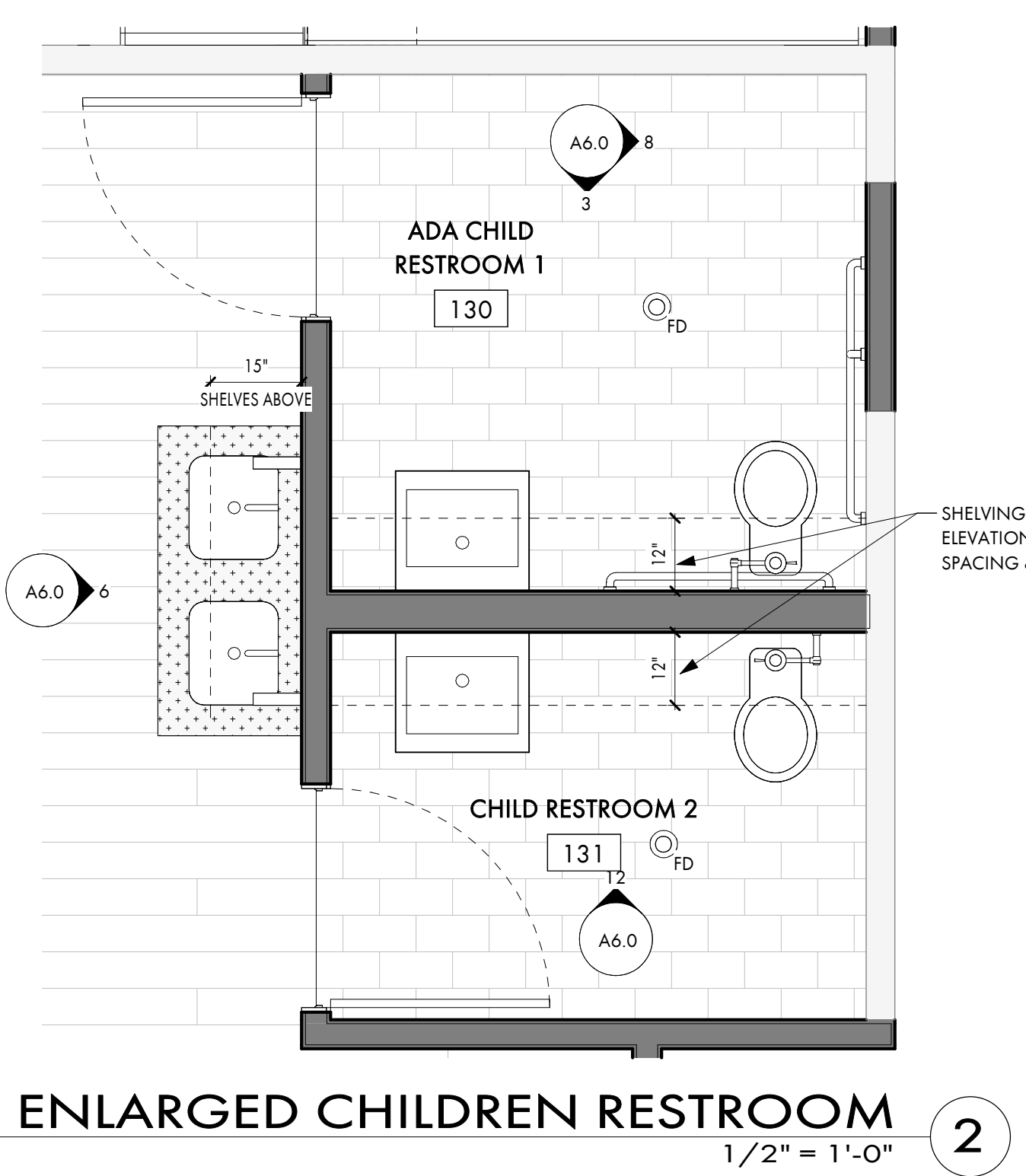
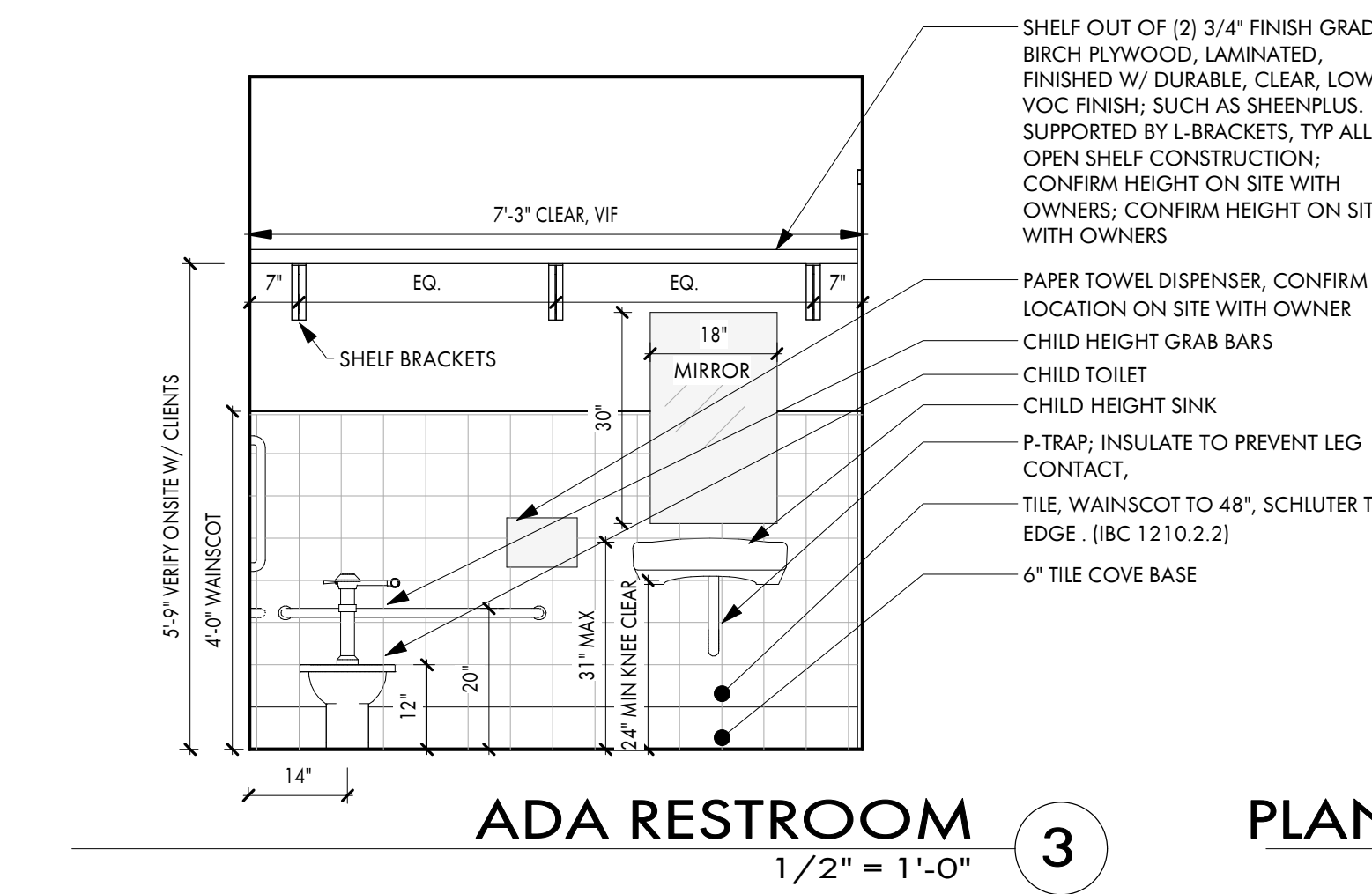
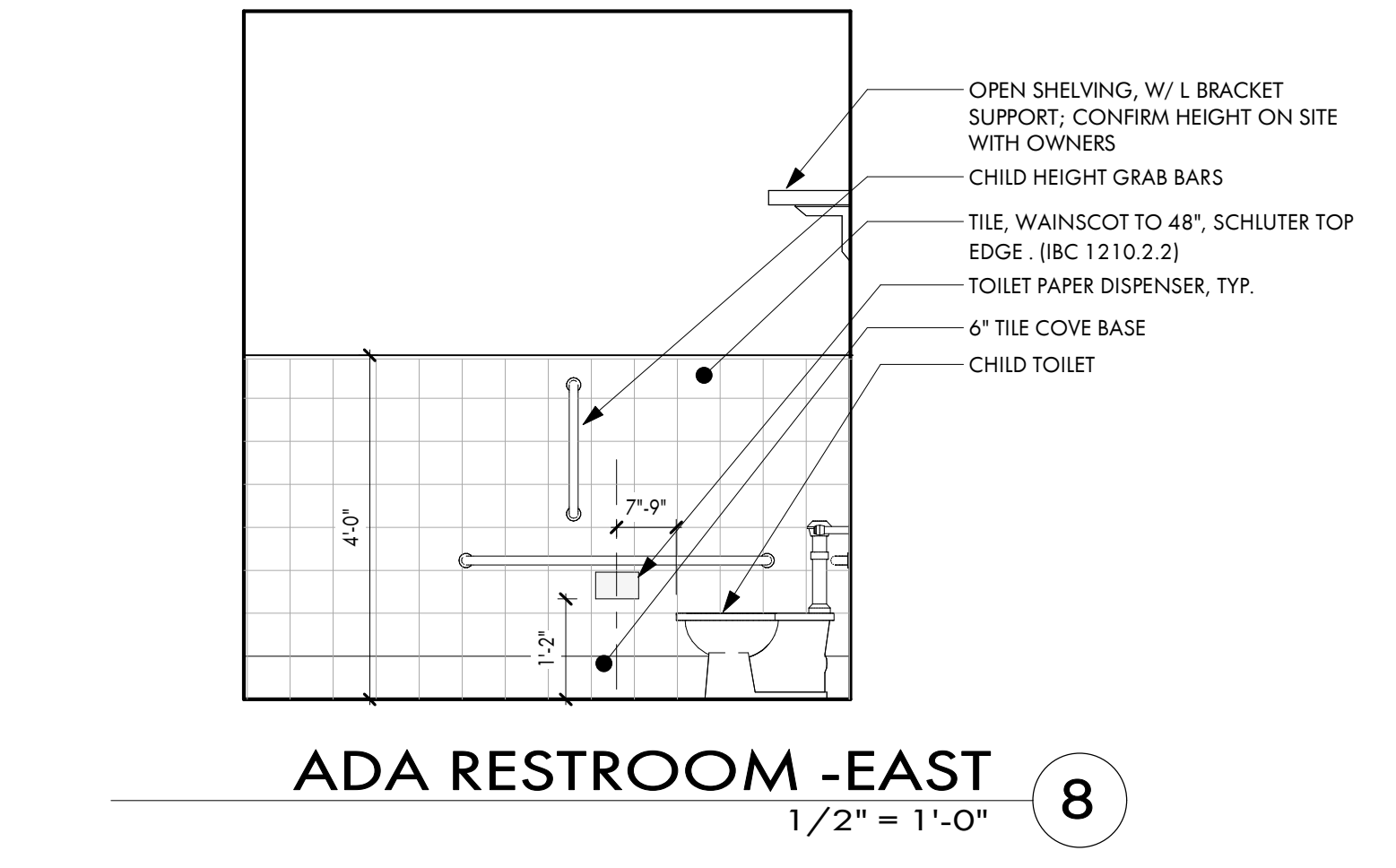
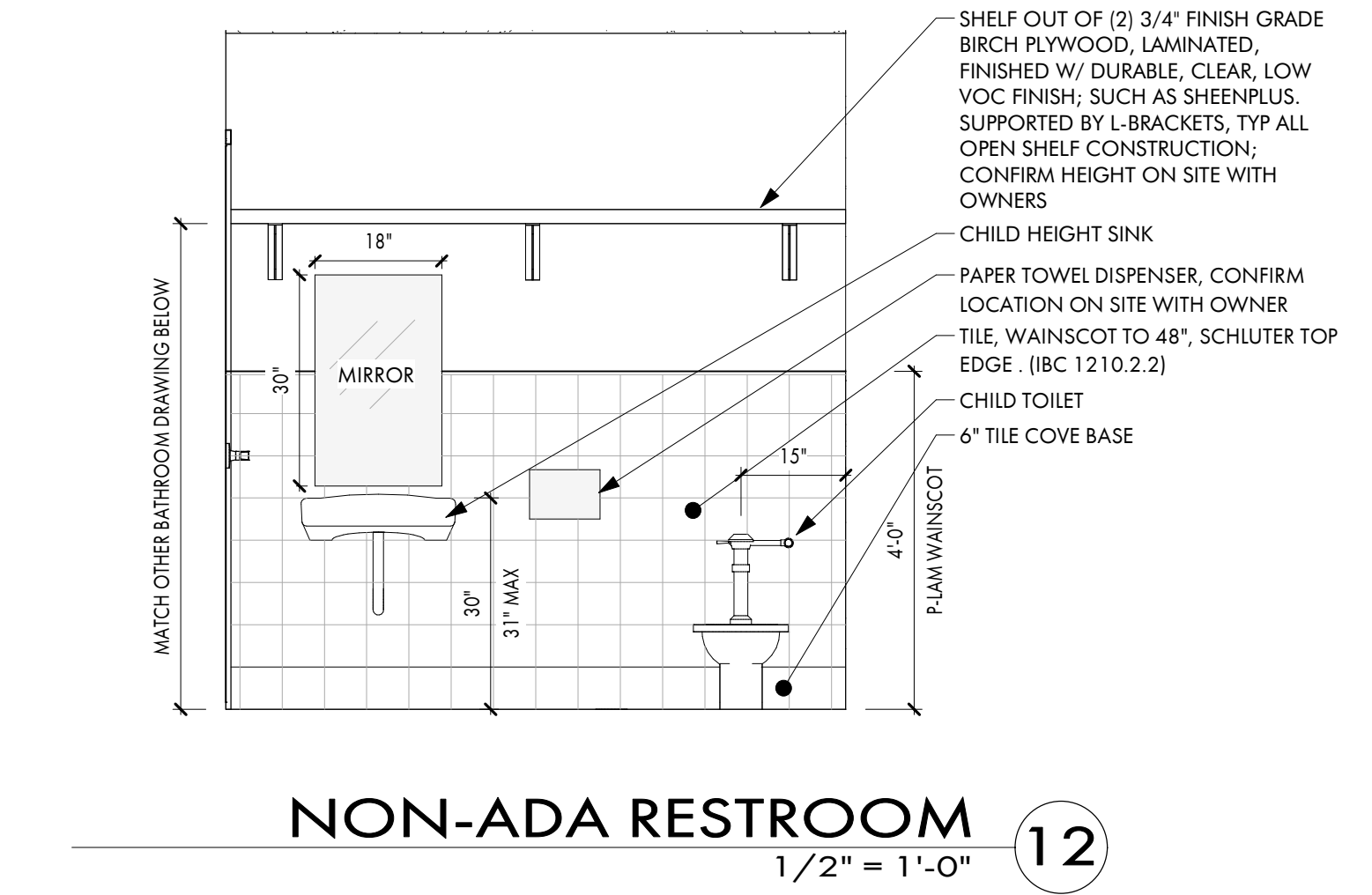
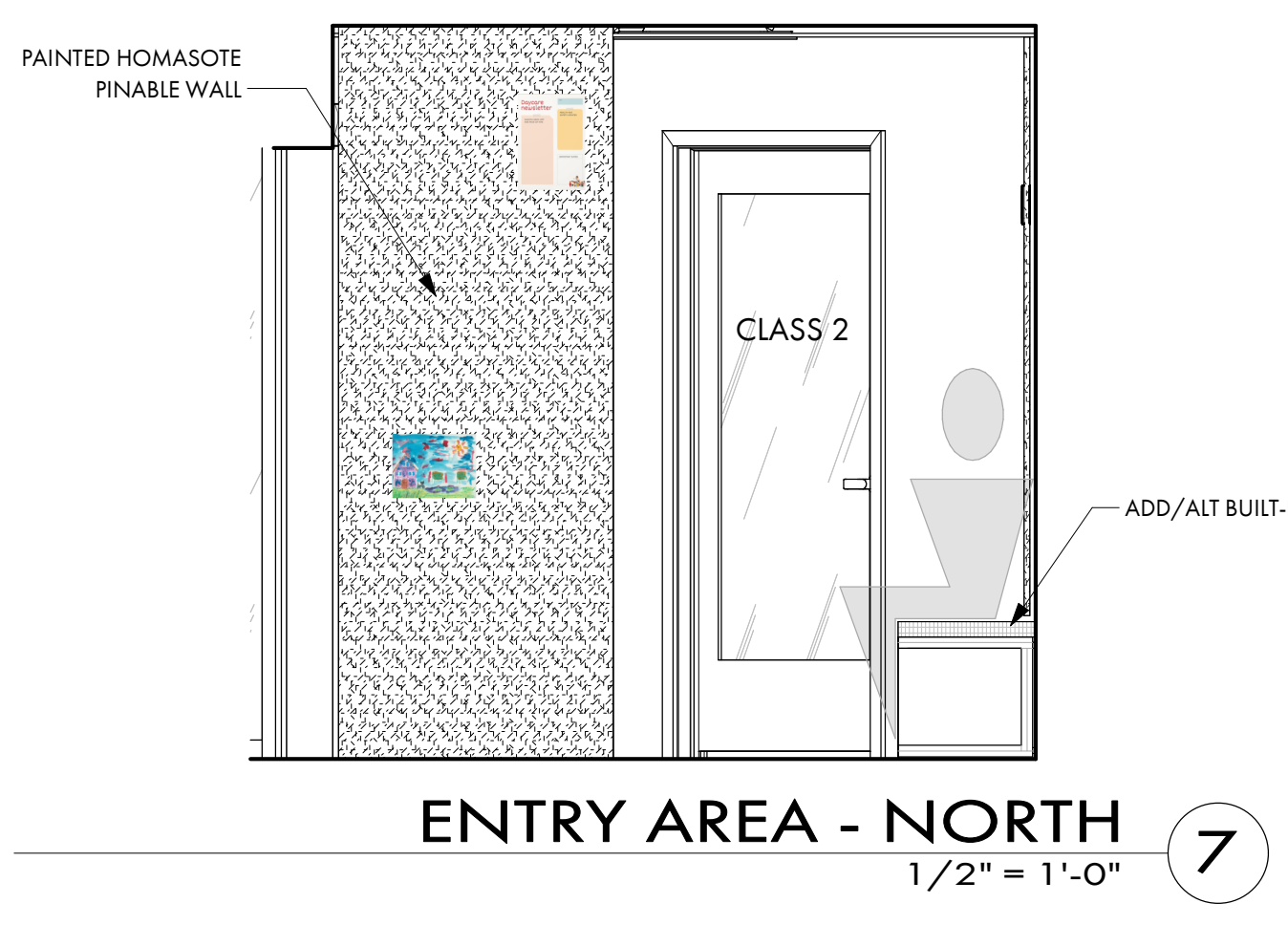
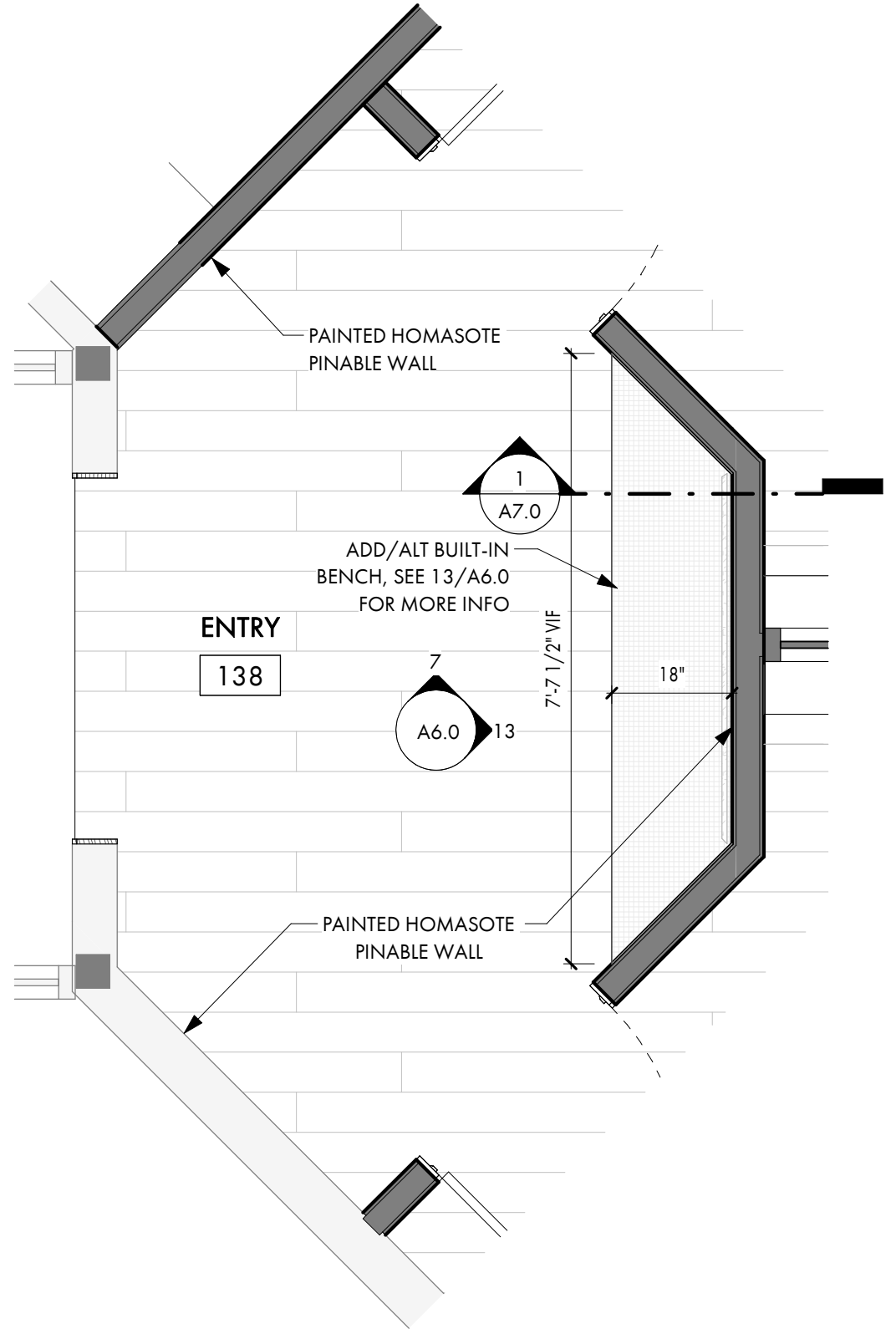
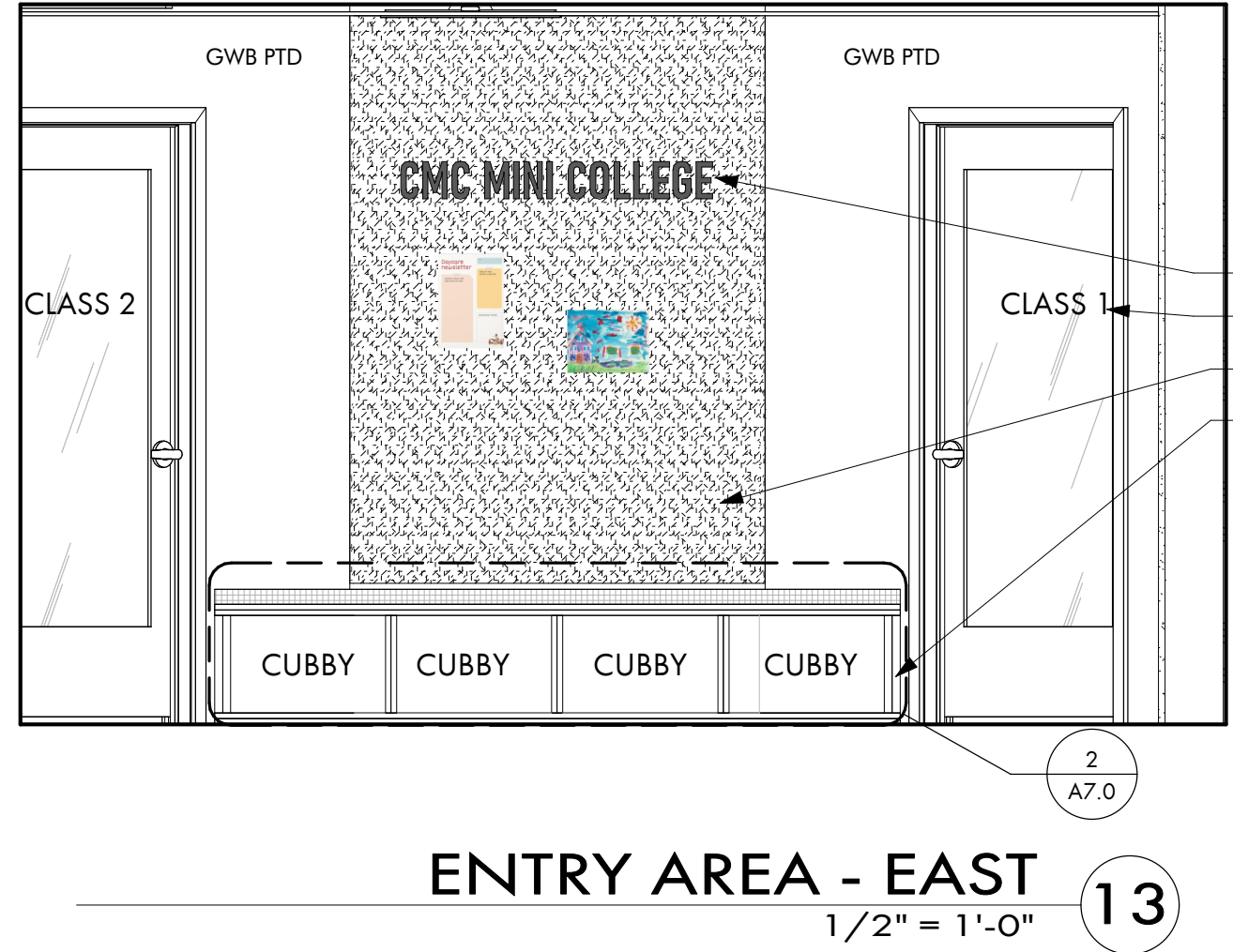
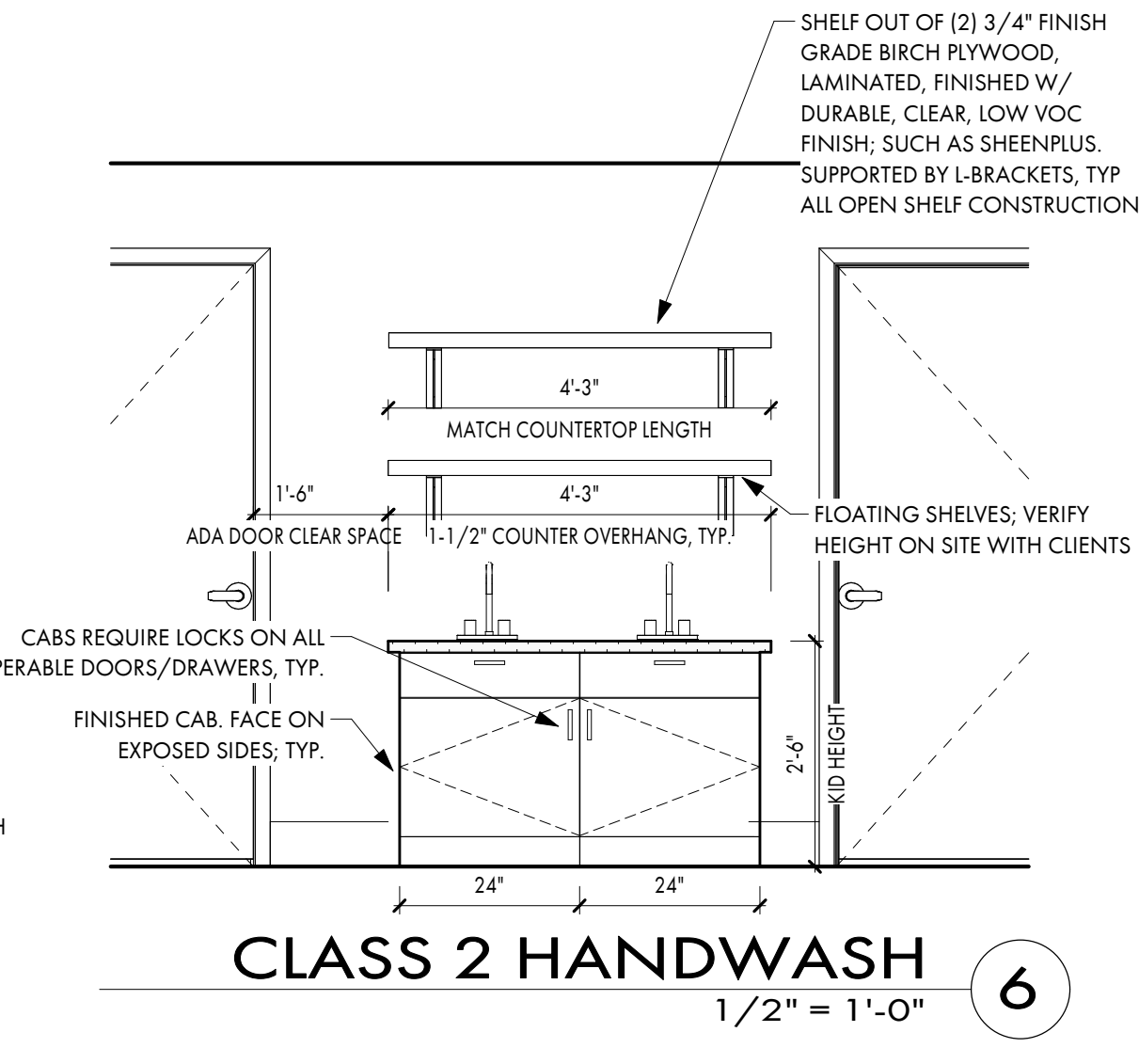
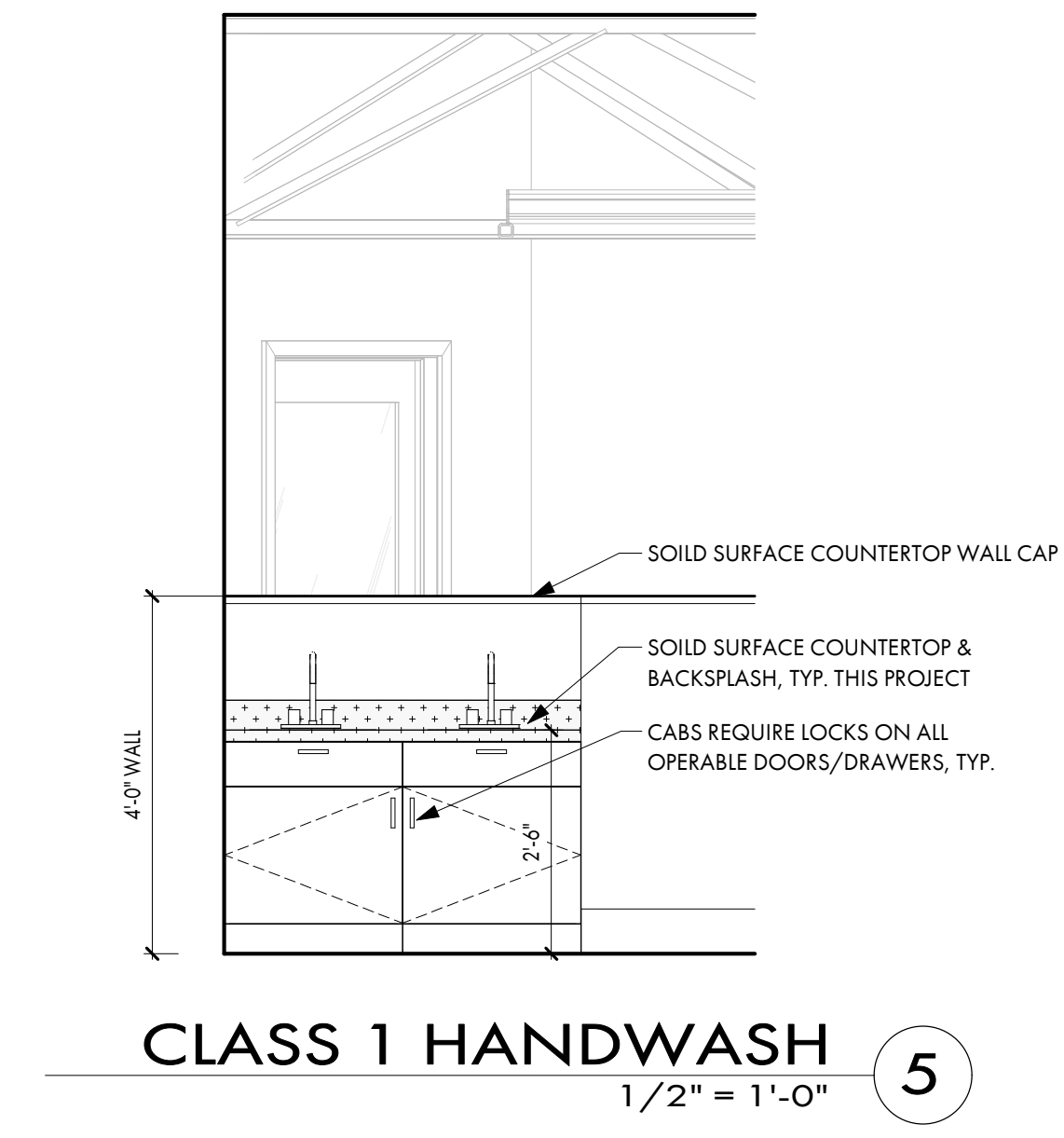
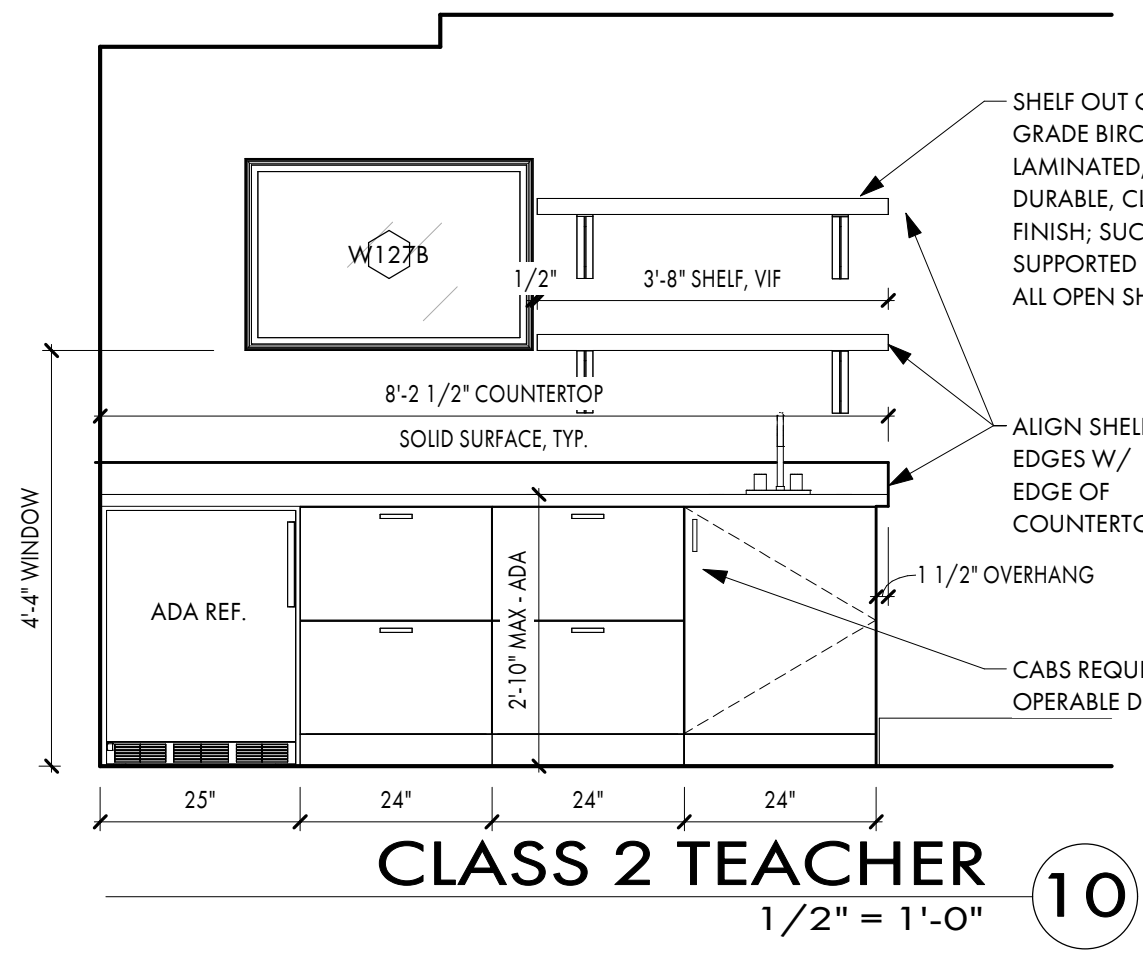
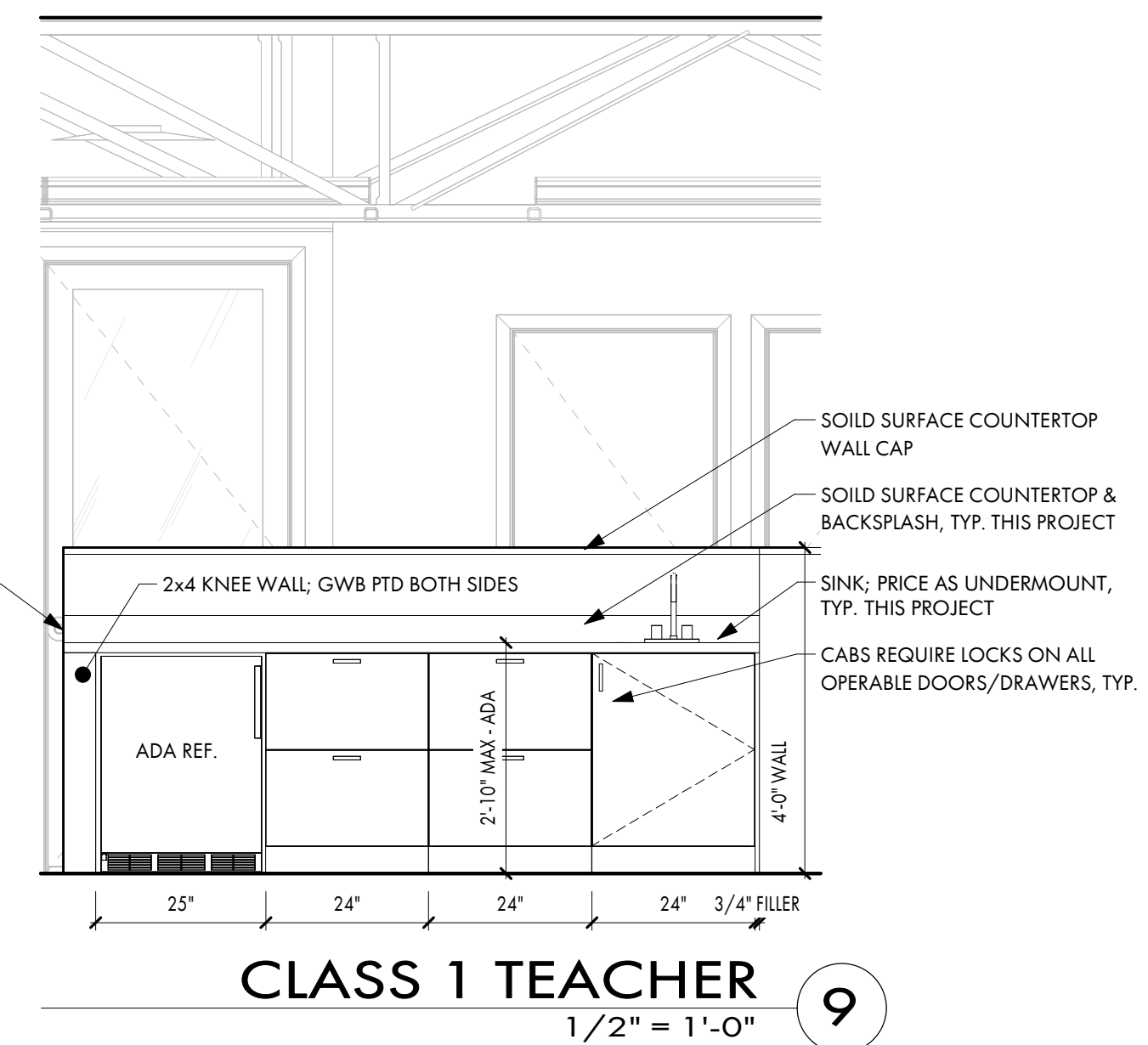


Job Site:
1402 BLAKE AVE
GLENWOOD SPRINGS,
COLORADO 81601

INTERIOR ELEVATIONS
AND ENLARGED PLANS

Sheet Number:

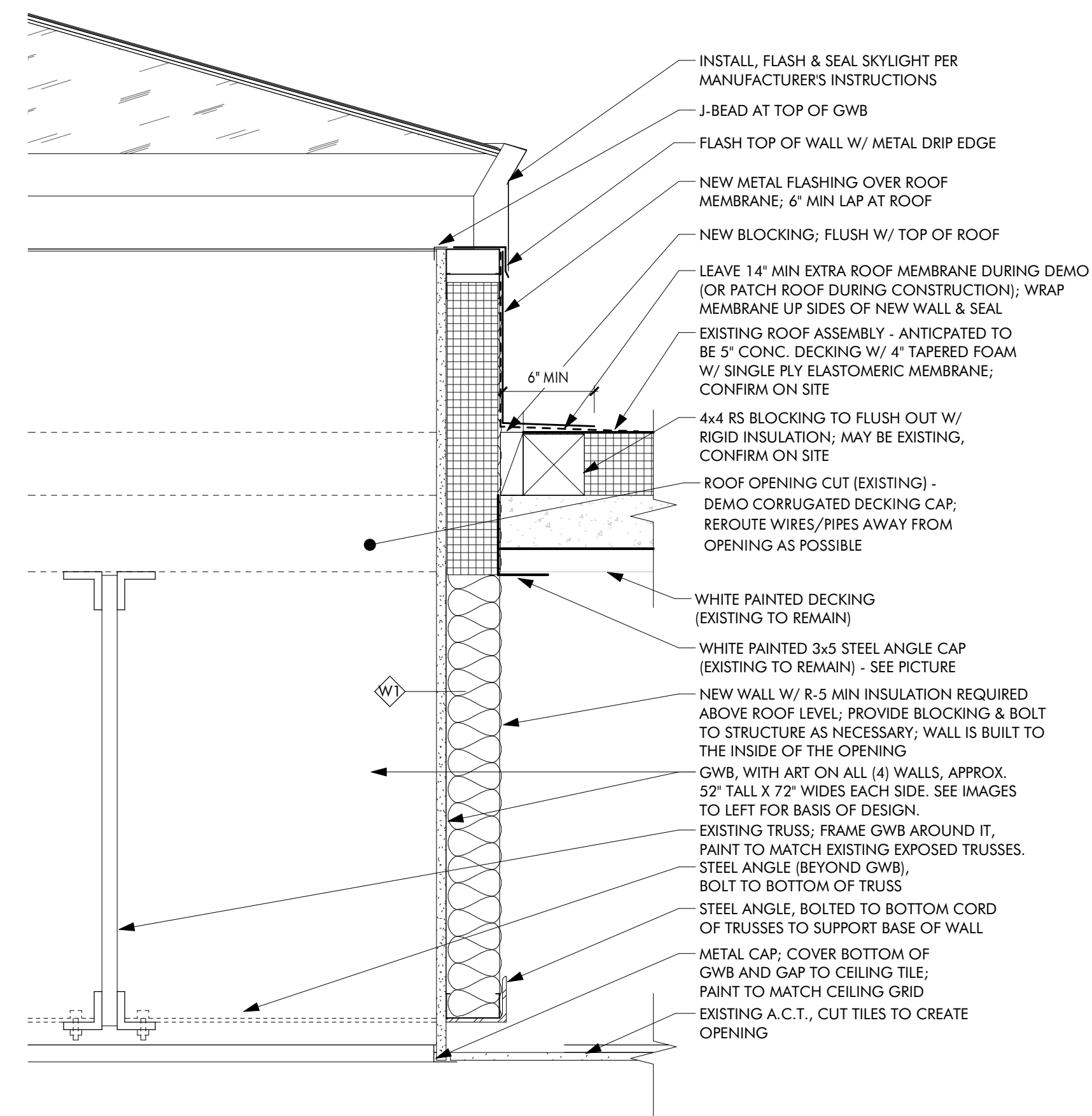
A6.0



File: Name.rvt 1/8/2025 3:25:43 PM



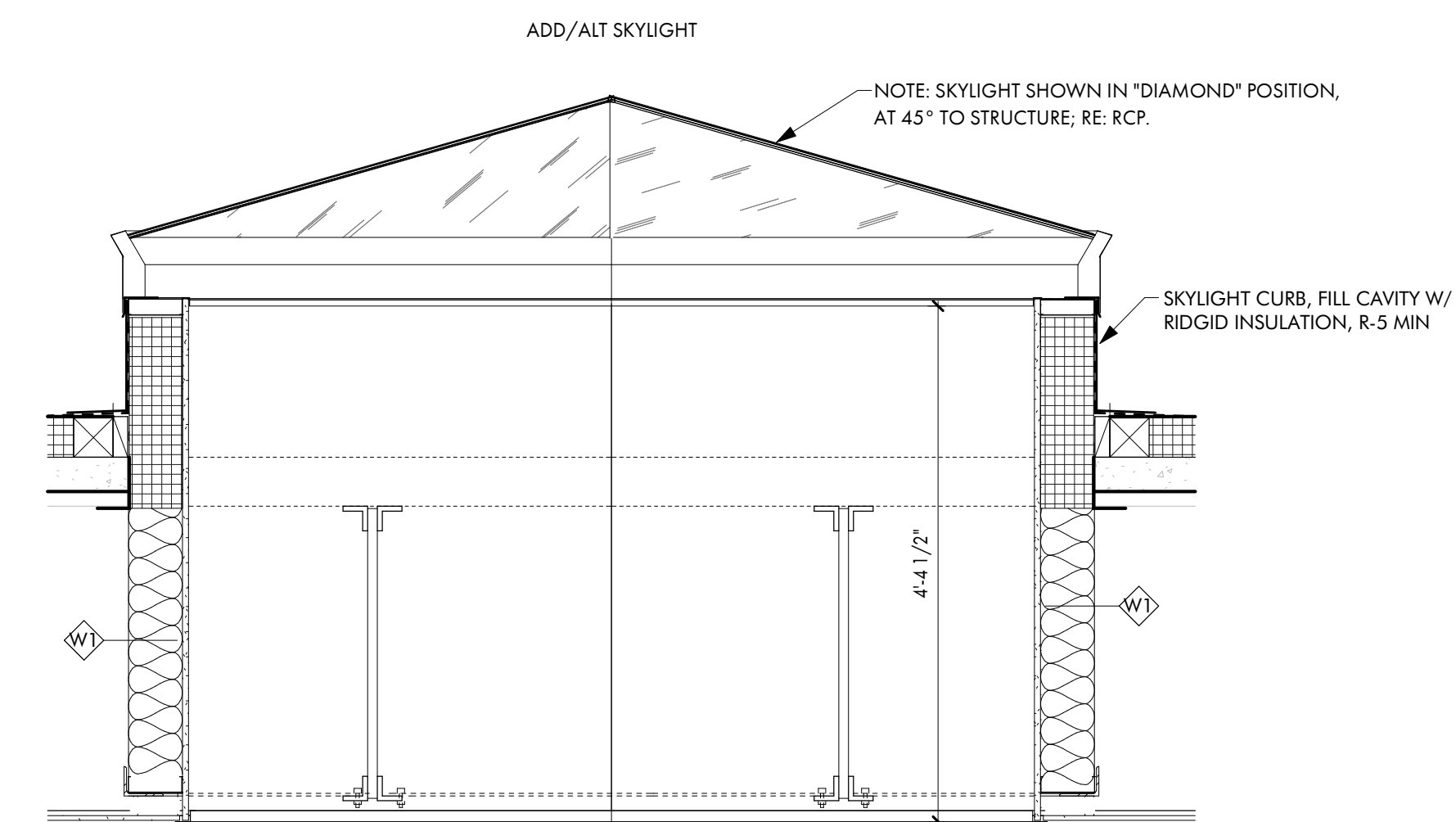
These images serve as the basis for the design of the artwork on the wall between the skylight and the ACT ceiling. The concept is to depict Colorado wildlife looking down from the opening. The exact design is subject to owner approval if the add/alternate is selected. Each of the 4 walls is approximately 52" tall and 72" wide. The design can be painted on, printed on, applied vinyl or approved equal.



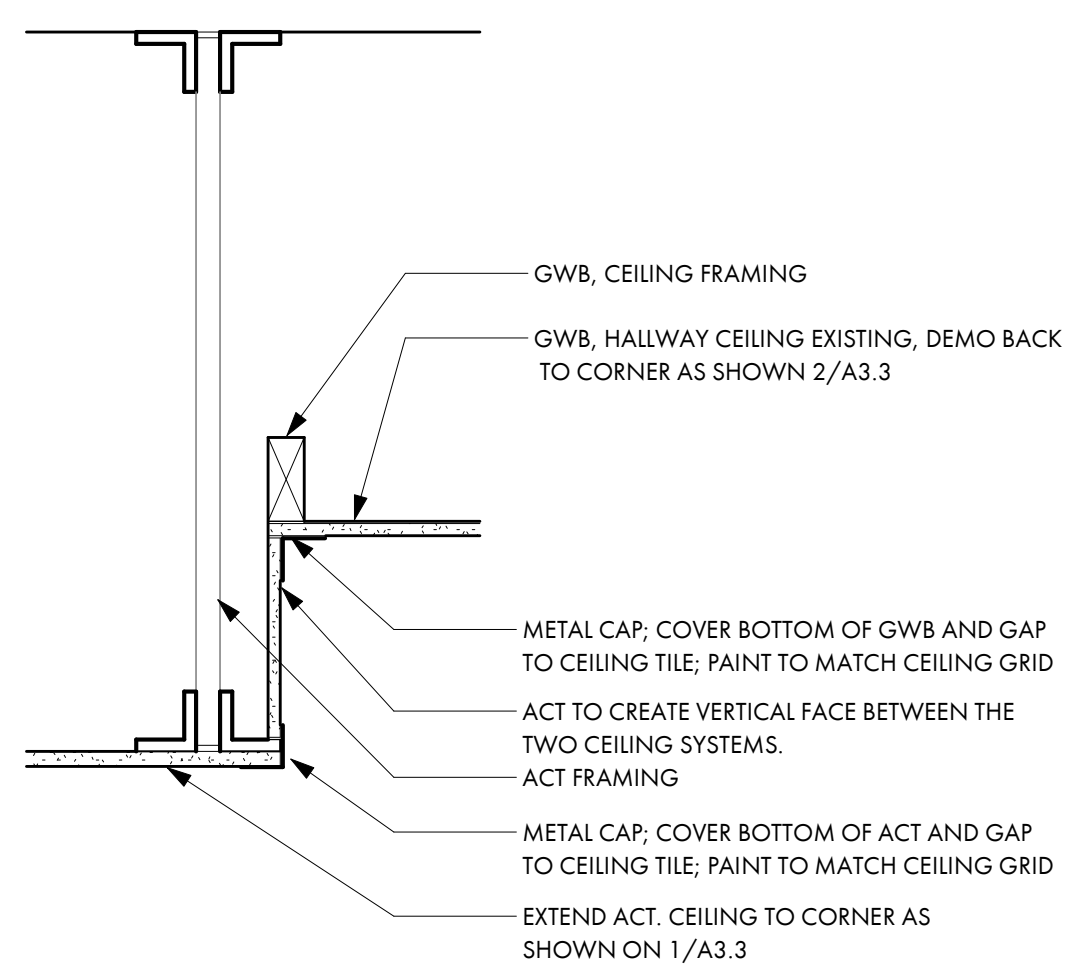
ADD/ALT- SKYLIGHT DETAIL
 1 1/2" = 1'-0" 5



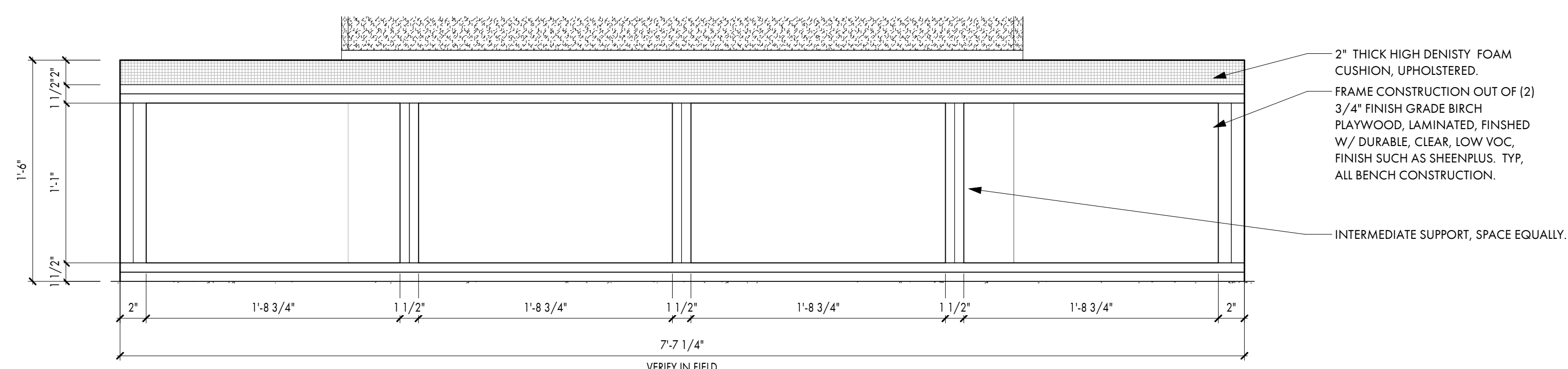
CORNER OF EXISTING SKYLIGHT OPENING - WHITE PAINTED DECKING & TRUSS TO STAY, DEMO SILVER DECKING CAP



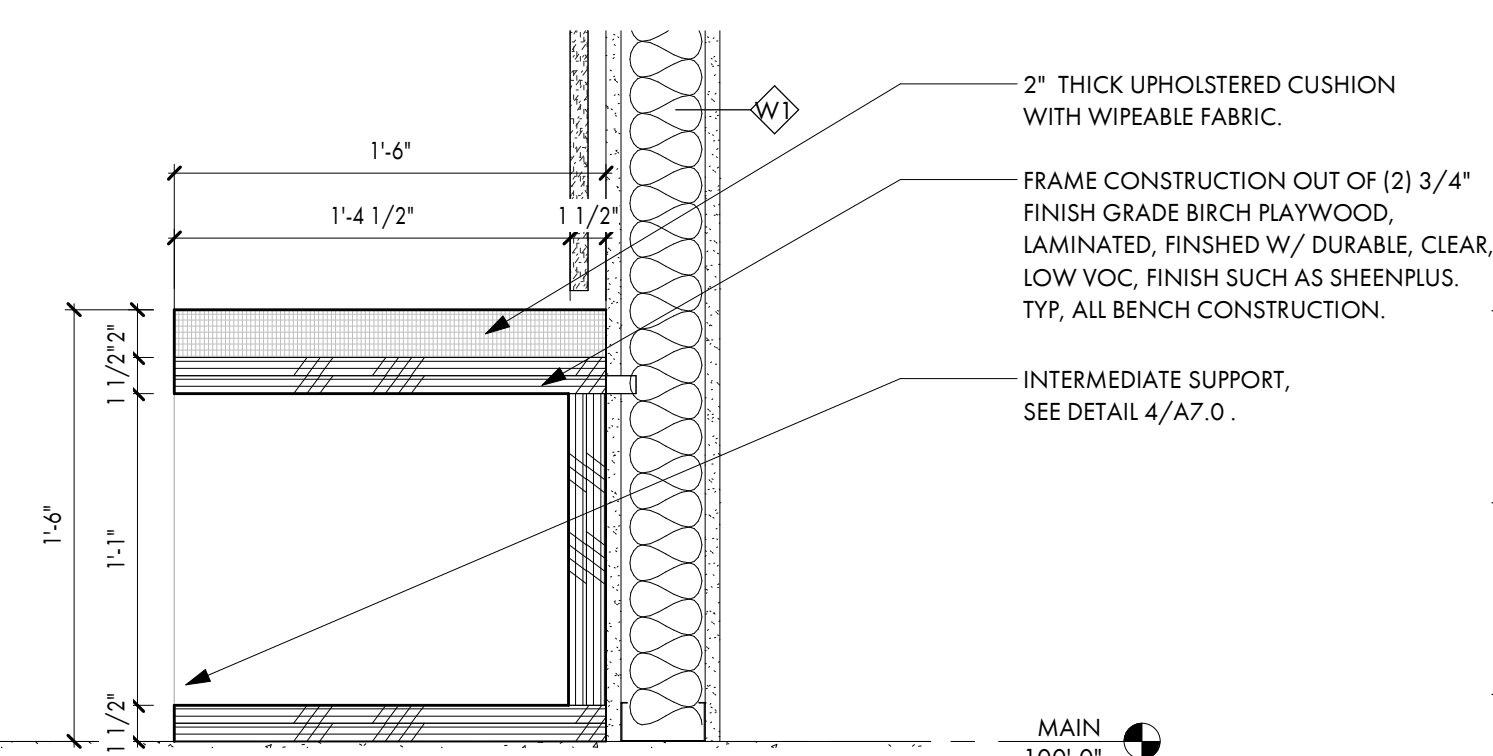
ADD/ALT- SKYLIGHT
 3/4" = 1'-0" 4



GWb to ACT TRANSITION
 1 1/2" = 1'-0" 3



BENCH @ ENTRY - FRONT
 1 1/2" = 1'-0" 2



BENCH @ ENTRY - SECTION
 1 1/2" = 1'-0" 1



Land+Shelter
 ARCHITECTURE AND PLANNING
 16 North 4th Street, Carbondale, CO 81623
 970.963.0201 info@landandshelter.com

NOTICE: DUTY OF COOPERATION
 Release of these plans contemplates further cooperation among the owner, his or her contractor, and the architect. Design and construction are complex. Although the architect and his/her consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the architect shall relieve the architect from responsibility for all consequences. Changes made from the plans, without consent of the architect are unauthorized and shall relieve the designer from all consequences arising out of such changes.

CD/PERMIT SET
 JANUARY 7TH, 2025
 Revisions



CMC MINI COLLEGE RENOVATION
 1402 BLAKE AVE
 CD/PERMIT SET



Job Site:
 1402 BLAKE AVE
 GLENWOOD SPRINGS,
 COLORADO 81601

DETAILS

Sheet Number:

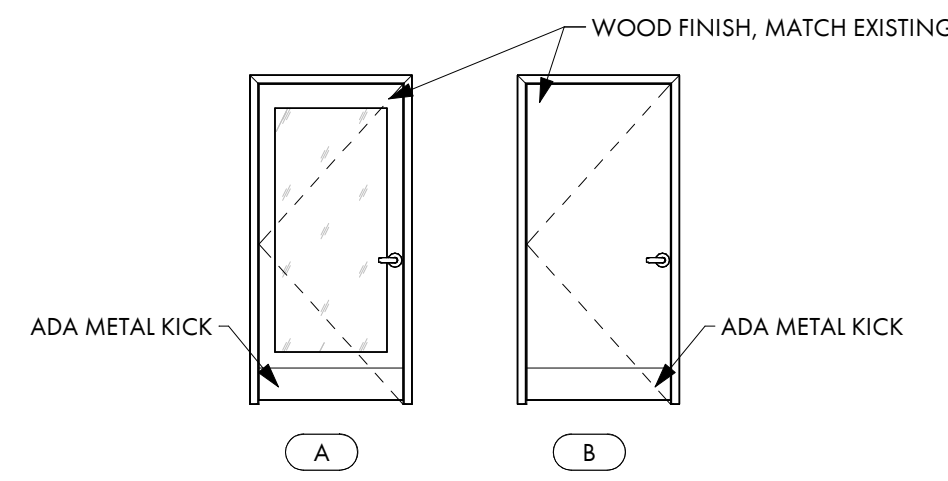
A7.0



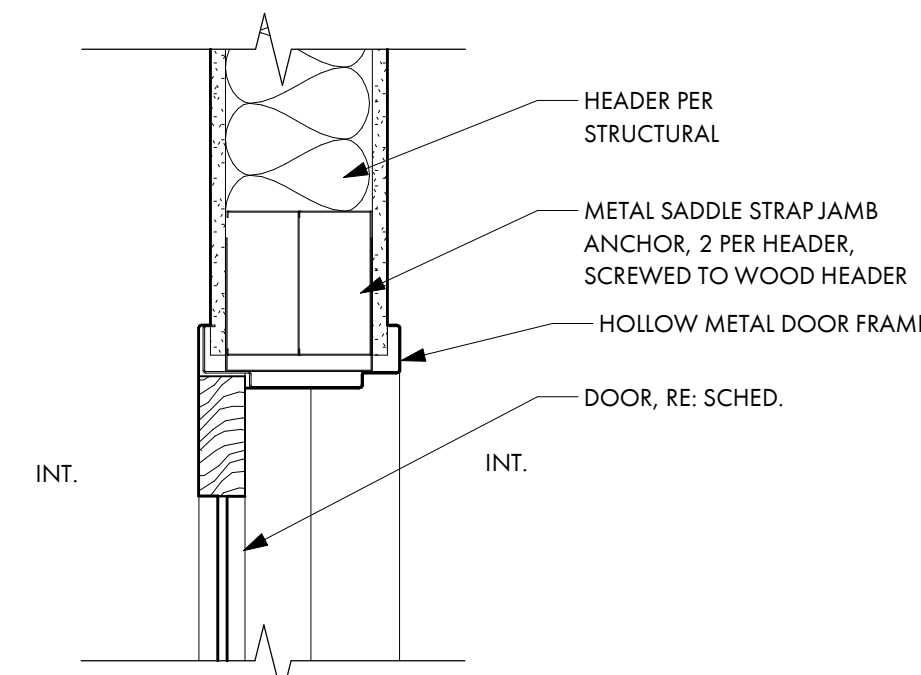
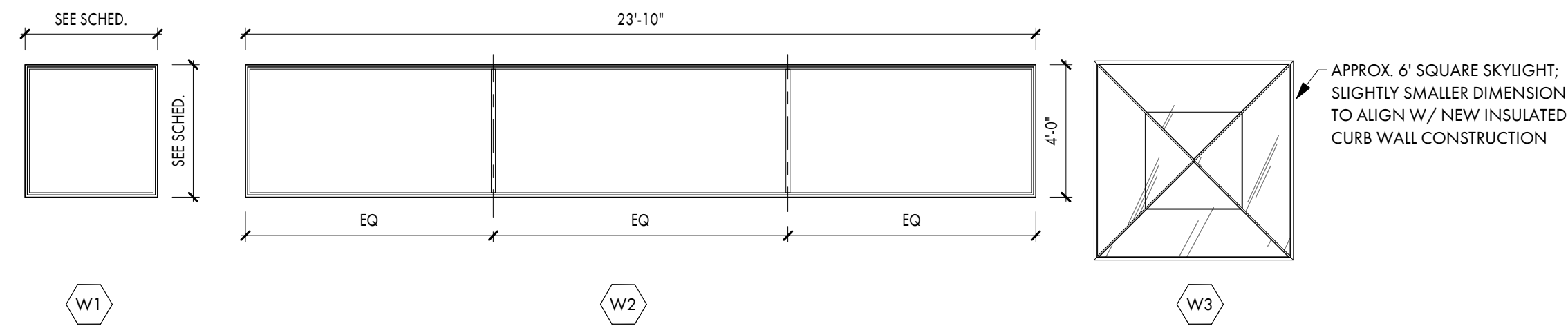
Land+Shelter
ARCHITECTURE AND PLANNING
16 North 4th Street, Carbondale, CO 81623
1970.963.0201 info@landandshelter.com

DOOR SCHEDULE									
MARK	TYPE	ROOM	ROOM NAME	STYLE	NOMINAL SIZE		GLAZING	HARDWARE	NOTES
					WIDTH	HEIGHT			
D127	A	127	OFFICE	SWING	3'-0"	6'-8"	TEMPERED	KEYED	
D128	B	128	FLEX ROOM	SWING	3'-0"	6'-8"	N/A	PANIC BAR, KEYED	
D129A	A	129	CLASSROOM #2	SWING	3'-0"	6'-8"	TEMPERED	KEYED	
D129B	A	129	CLASSROOM #2	SWING	3'-0"	6'-8"	TEMPERED	PANIC BAR, KEYED	
D130	B	130	ADA CHILD RESTROOM 1	SWING	3'-0"	6'-8"	N/A	PRIVACY	
D131	B	131	CHILD RESTROOM 2	SWING	3'-0"	6'-8"	N/A	PRIVACY	
D134	B	134	STORAGE	EXTERIOR SWING	3'-0"	6'-8"	N/A	KEYED	
D135A	A	135	CLASSROOM #1	SWING	3'-0"	6'-8"	TEMPERED	PANIC BAR, KEYED	
D135B	A	129	CLASSROOM #2	SWING	3'-0"	7'-6"	TEMPERED	KEYED	ADD FROSTED FILM TO GLASS, APPROX. 3/8" AFF. VERIFY IN FIELD W/ OWNER
D136	B	136	CHILD TOILET	SWING	2'-6"	6'-8"	N/A	REPLACE CURRENT KNOB SETS W/ PRIVACY LEVER TO MATCH NEW	REUSE DOOR
D137	B	137	CHILD TOILET	SWING	2'-6"	6'-8"	N/A	REPLACE CURRENT KNOB SETS W/ PRIVACY LEVER TO MATCH NEW	REUSE DOOR
D139	B	139	NEW OFFICE	SWING	3'-0"	6'-8"	TEMPERED	KEYED	

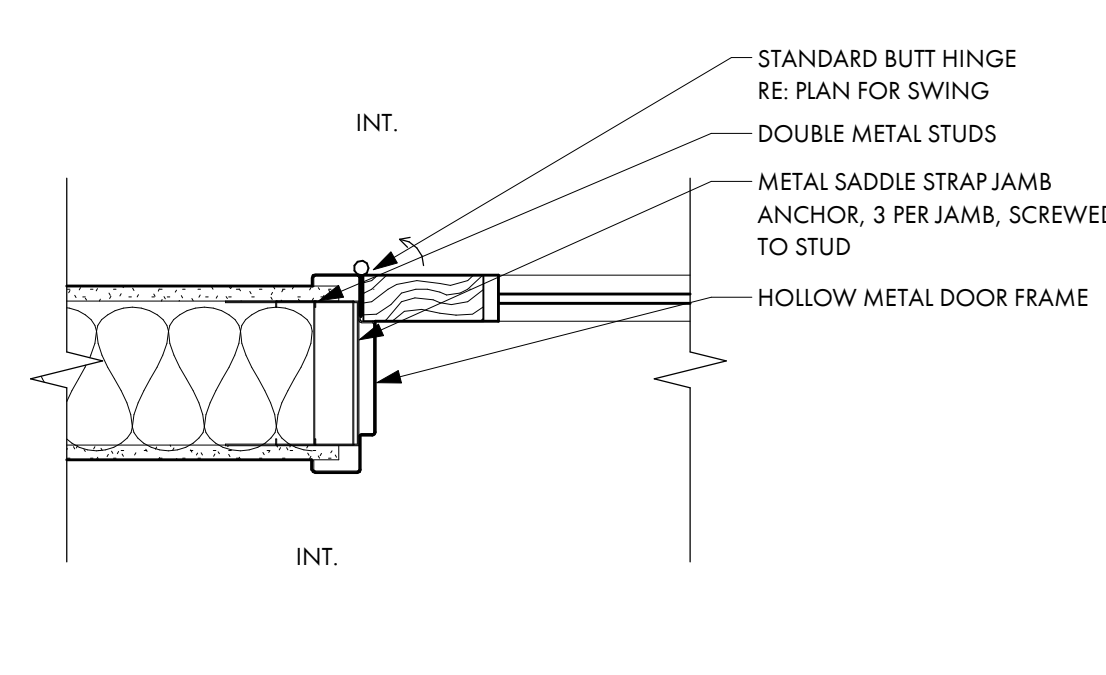
*NOTE: ALL DOOR HARDWARE TO BE LEVER STYLE IN COMPLIANCE WITH ADA GUIDELINES. MATCH EXISTING IN REST OF BUILDING. REUSE DOORS & HARDWARE AS MUCH AS POSSIBLE.



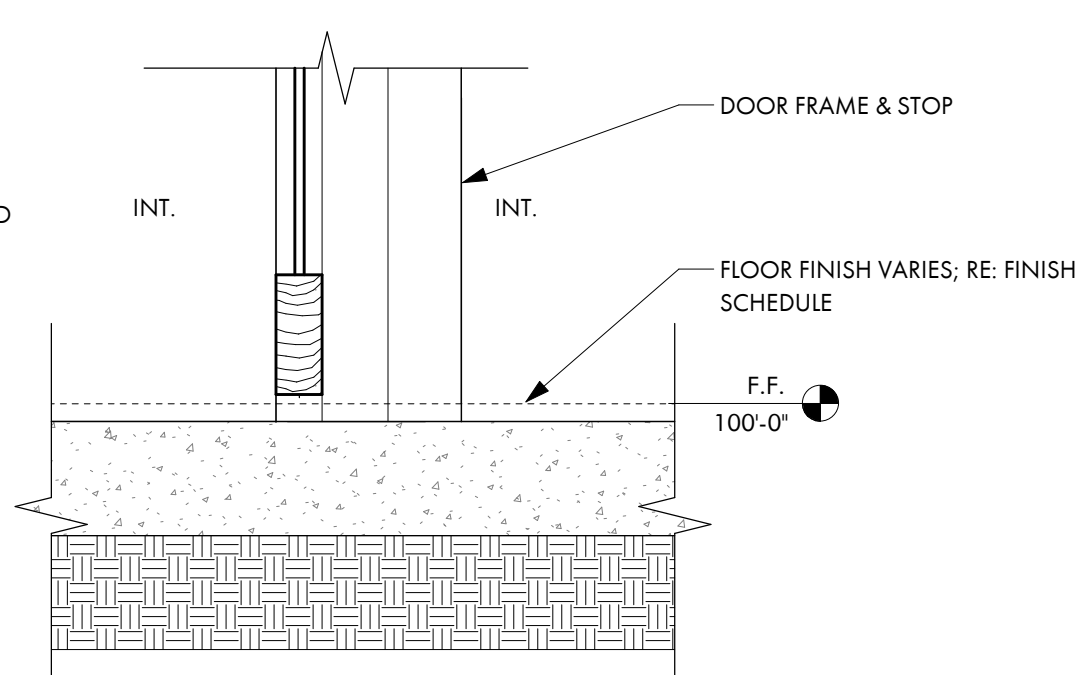
WINDOW SCHEDULE								
MARK	TYPE	RM #	ROOM NAME	FRAME SIZE		SASH OPERATION	GLAZING	Comments
				FRAME WIDTH	FRAME HEIGHT			
W127A	W1	128	FLEX ROOM	4'-0"	4'-0"	DIRECT SET		
W127B	W1	127	OFFICE	3'-0"	2'-0"	DIRECT SET		
W127D	W1	127	OFFICE	3'-0"	2'-0"	DIRECT SET		
W127C	W2			23'-10"	4'-0"	CURTAIN WALL		
W129	W3	129	CLASSROOM #2	5'-9 1/2"	5'-9 1/2"	SKYLIGHT, NON OPERABLE	TEMPERED	ADD/ALT



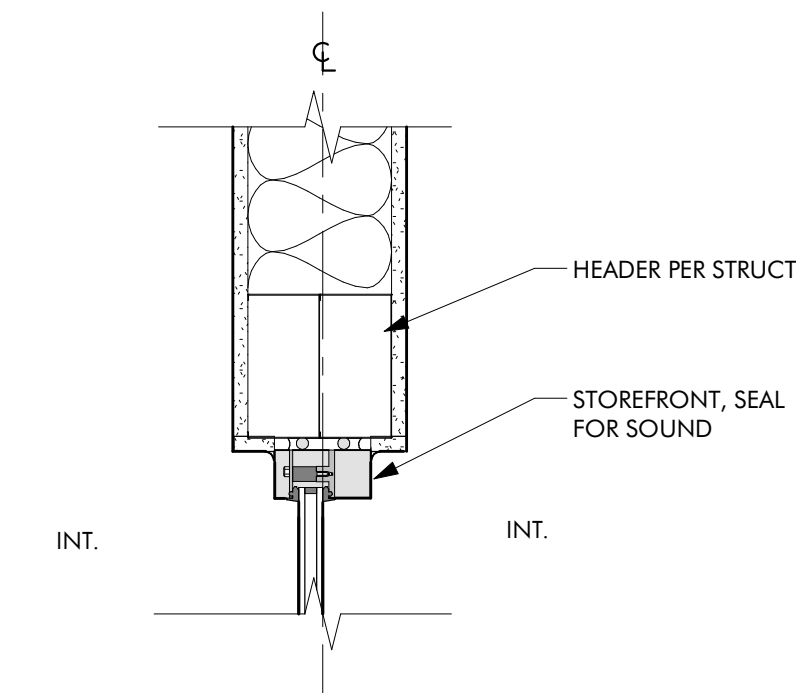
DOOR - INT. SWING HEAD 1 1/2" = 1'-0" 6



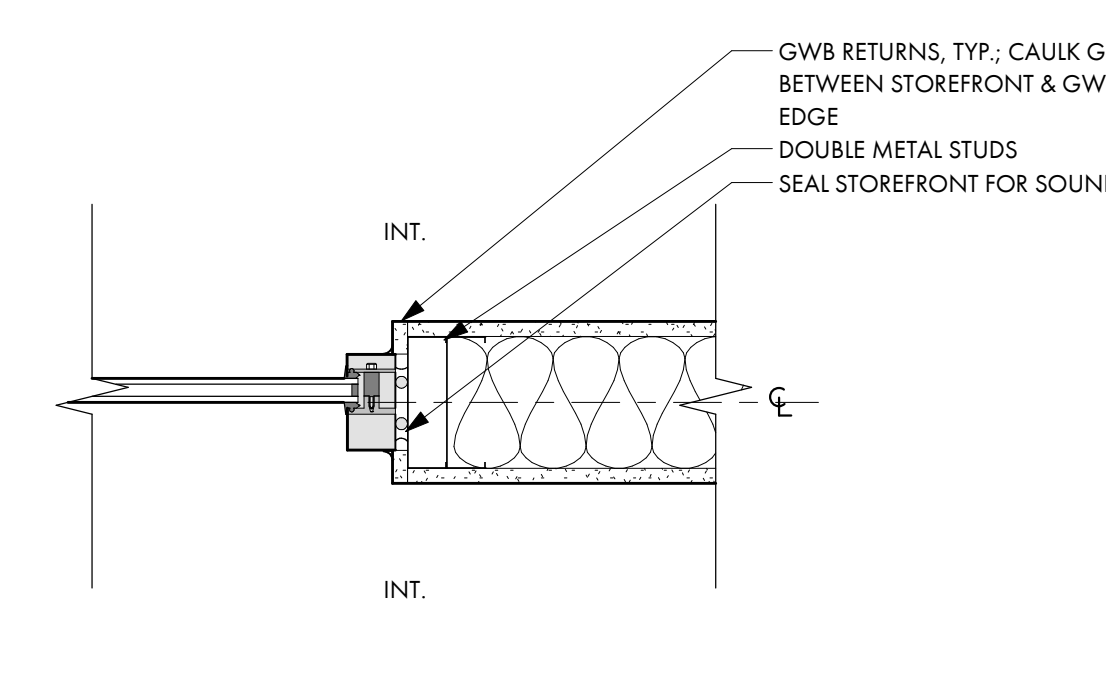
DOOR - INT. SWING JAMB 1 1/2" = 1'-0" 5



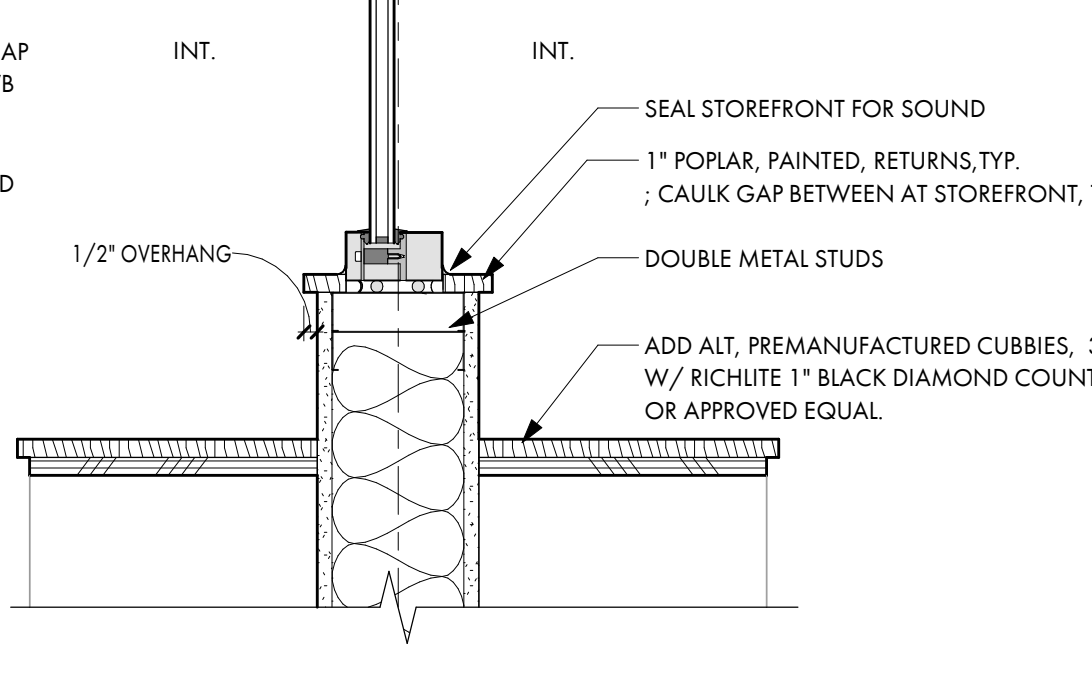
DOOR - INT. SWING SILL 1 1/2" = 1'-0" 4



STOREFRONT HEAD 1 1/2" = 1'-0" 3



STOREFRONT JAMB 1 1/2" = 1'-0" 2

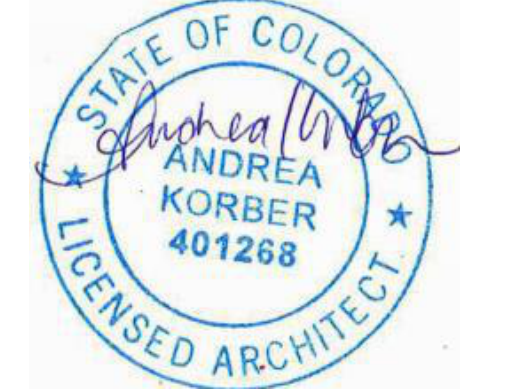


STOREFRONT SILL 1 1/2" = 1'-0" 1

NOTICE: DUTY OF COOPERATION
Release of these plans contemplates further cooperation among the owner, his or her contractor, and the architect. Design and construction are complex. Although the architect and his/her consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the architect shall relieve the architect from responsibility for all consequences. Changes made from the plans without consent of the architect are unauthorized and shall relieve the designer from all consequences arising out of such changes.

CD/PERMIT SET
JANUARY 7TH, 2025
Revisions

CMC MINI COLLEGE REVOLUTION
1402 BLAKE AVE
CD/PERMIT SET



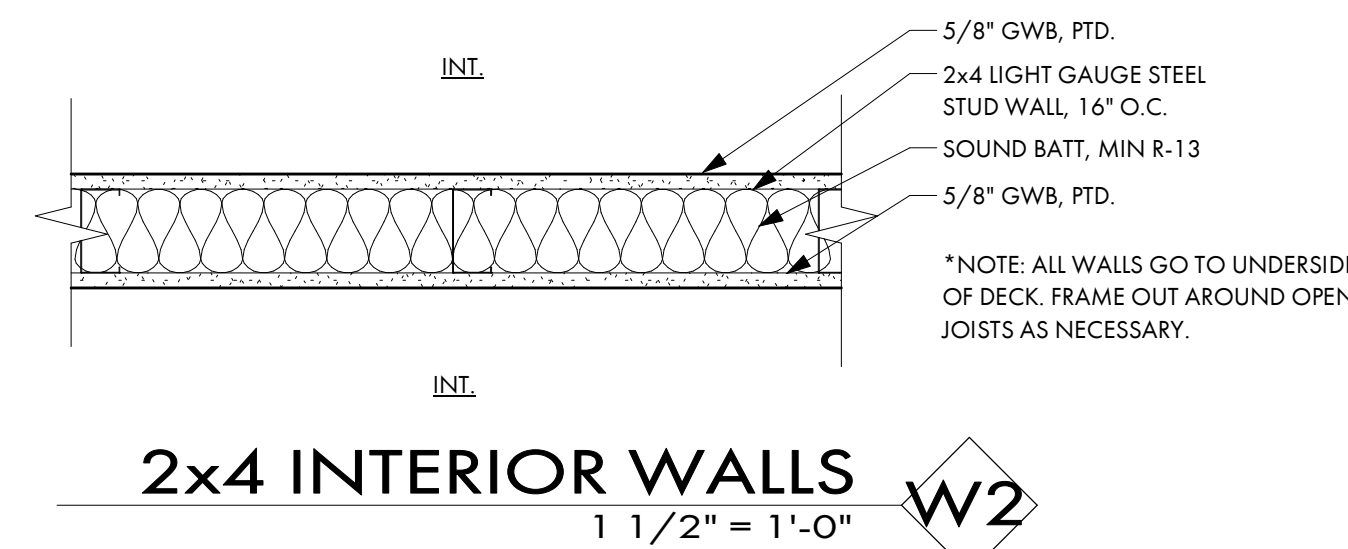
Job Site:
1402 BLAKE AVE
GLENWOOD SPRINGS,
COLORADO 81601

SCHEDULES

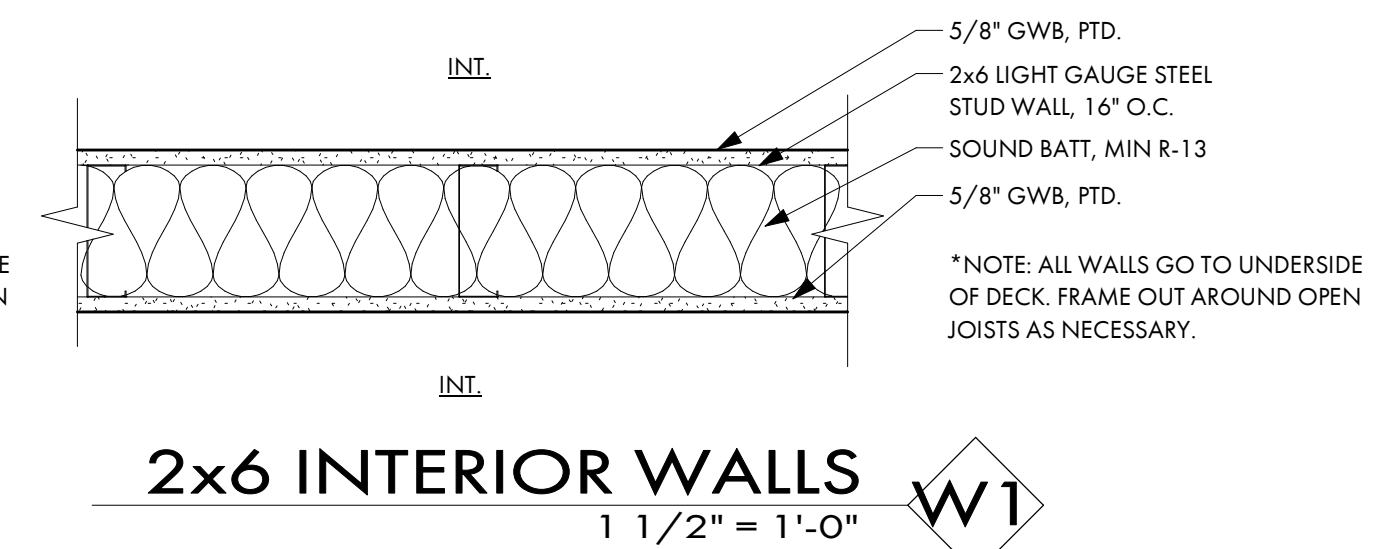
Sheet Number:

A10.0

ROOM FINISH SCHEDULE								
RM #	Room Name	Floor	Floor Finish Color	Base	Wall	Wainscott	Ceiling	Comments
127	OFFICE	LVT	BLONDE TO MATCH CLASSROOM 1	RUBBER COVE	PTD PT2, DETERMINE ON SITE		A.C.T., REUSE AS MUCH AS POSSIBLE	
128	FLEX ROOM	LVT	BLONDE TO MATCH CLASSROOM 1	RUBBER COVE	PTD PT1, DETERMINE ON SITE		A.C.T., REUSE AS MUCH AS POSSIBLE	
129	CLASSROOM #2	LVT	BLONDE TO MATCH CLASSROOM 1	RUBBER COVE	PTD PT1, DETERMINE ON SITE		A.C.T., REUSE AS MUCH AS POSSIBLE	
130	ADA CHILD RESTROOM 1	TILE	BLONDE TO MATCH CLASSROOM 1	RUBBER COVE	PTD PT3, DETERMINE ON SITE	TILE TO 48"	HARD LID, GWB, PTD.	
131	CHILD RESTROOM 2	TILE	BLONDE TO MATCH CLASSROOM 1	RUBBER COVE	PTD PT3, DETERMINE ON SITE	TILE TO 48"	HARD LID, GWB, PTD.	
132	HALL	EXISTING EXPOSED CONCRETE TO REMAIN		RUBBER COVE	PTD PT1, DETERMINE ON SITE		GWB, PTD & A.C.T.	
133	SERVER	EXISTING EXPOSED CONCRETE TO REMAIN		RUBBER COVE	PTD PT4, DETERMINE ON SITE		A.C.T. & OPEN, REUSE AS MUCH AS POSSIBLE	
134	STORAGE	EXISTING EXPOSED CONCRETE TO REMAIN		RUBBER COVE	PTD PT4, DETERMINE ON SITE		A.C.T., REUSE AS MUCH AS POSSIBLE	
135	CLASSROOM #1	FLOORING TO REMAIN EXCEPT FOR CARPET; REPLACE CARPET	BLONDE TO MATCH	RUBBER COVE	PTD PT1, DETERMINE ON SITE		OPEN STRUCTURE TO REMAIN, NO WORK	
136	CHILD TOILET	EXISTING TO REMAIN		RUBBER COVE	PTD PT3, DETERMINE ON SITE		HARD LID, GWB, PTD.	
137	CHILD TOILET	EXISTING TO REMAIN		RUBBER COVE	PTD PT3, DETERMINE ON SITE		HARD LID, GWB, PTD.	
138	ENTRY	LVT, PATCH AS NECESSARY	BLONDE TO MATCH CLASSROOM 1	RUBBER COVE	PTD PT1, DETERMINE ON SITE		OPEN STRUCTURE TO REMAIN, NO WORK	
139	NEW OFFICE	LVT	COPPER TO MATCH LOBBY	RUBBER COVE	PTD PT5, DETERMINE ON SITE		A.C.T., REUSE AS MUCH AS POSSIBLE	



2x4 INTERIOR WALLS 1 1/2" = 1'-0" W2



2x6 INTERIOR WALLS 1 1/2" = 1'-0" W1