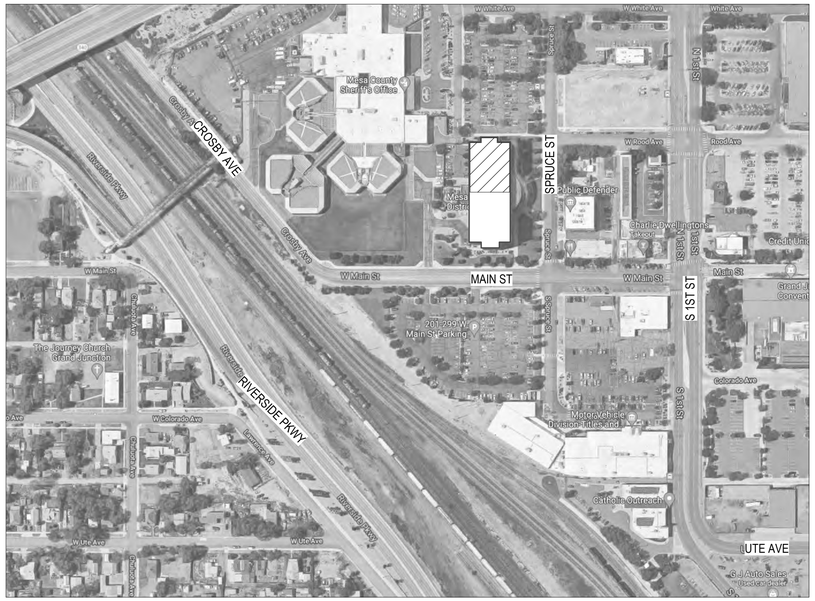
VICINITY MAP



TRUE NORTH

PROJECT NORTH

MESA COUNTY

JUSTICE CENTER SECOND FLOOR RENOVATION

125 N SPRUCE ST GRAND JUNCTION, CO 81501

BG+co. PROJECT # 23040

04/18/2024	SCHEMATIC DESIGN
06/14/2024	DESIGN DEVELOPMENT
08/30/2024	FOR CONSTRUCTION

FOR CONSTRUCTION

CIVIL / ARCHITECTURAL / MECHANICAL / PLUMBING / ELECTRICAL / SECURITY

PROJECT DESIGN TEAM

ARCHITECTURE / INTERIOR DESIGN:

BG+co.
Architecture
Interior Design
Project Management
BLYTHE GROUP + co.

CIVIL ENGINEERING:

RCE
Rolland Consulting Engineers, LLC
405 RIDGES BLVD
GRAND JUNCTION, CO 81507

MECHANICAL, PLUMBING AND ELECTRICAL ENGINEERING:

Bighorn Consulting Engineers, Inc.
Mechanical & Electrical Engineers
386 Indian Road
Grand Junction, CO 81501
Phone (970) 241-8709
101 W 11th Street #109-C
Durango, CO 81301
Phone: (970) 422-7676

SECURITY ELECTRONICS:

Security Design Consulting
2120 Academy Cir # H,
Colorado Springs, CO 80909
Phone: 719-232-2896

ALTERNATES

ALTERNATE 1:
BASE BID: PROVIDE TWO SETS OF STAIRS TO ACCESS RAISED JUDGE'S BENCH.
ALTERNATE 1: PROVIDE PLATFORM LIFT IN LIEU OF ONE STAIR TO ACCESS JUDGE'S BENCH.

ALTERNATE 2:
BASE BID: NO OPERABLE PARTITION IS PROVIDED IN MEETING ROOM 2024.
ALTERNATE 2: PROVIDE OPERABLE PARITION TO SEPARATE MEETING ROOM 2024.

ALTERNATE 3: ALTERNATE FINISH SCHEMES.
BASE BID: REFER TO FINISH PLAN A7-1.
ALTERNATE 3: REFER TO FINISH PLAN A7-1.

ALTERNATE 4:
BASE BID: NO CHANGES TO EXISTING PARKING LOT.
ALTERNATE 4: COMPLETE EXTERIOR PARKING LOT MODIFICATIONS SHOWN ON CIVIL DRAWINGS AND AS1-1.

ALTERNATE 5:
BASE BID: NEW DOORS AND HARDWARE AS SCHEDULED AT OFFICES 2010, 2011, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, AND 2021.
ALTERNATE 5: REINSTALL SALVAGED DOORS AND HARDWARE AT OFFICES LISTED ABOVE. DOORS AND HARDWARE TO BE SALVAGED AND REINSTALLED SHOWN ON DEMOLITION PLAN

ALTERNATE 6:
BASE BID: NO NEW WINDOW SHADES AT EXISTING EXTERIOR WINDOWS IN NEW COURTROOM.
ALTERNATE 6: NEW WINDOW SHADES AT EXISTING EXTERIOR WINDOWS IN NEW COURTROOM.

MATERIALS LEGEND

- EXISTING CONSTRUCTION
- ASPHALT PAVING (SECTION)
- EARTH (PLAN & SECTION)
- GRANULAR FILL (SECTION)
- STRUCTURAL FILL (SECTION)
- SAND (SECTION)
- CONCRETE (PLAN & SECTION)
- BRICK VENEER (SECTION)
- CONCRETE MASONRY UNITS (CMU) (PLAN & SECTION)
- PRECAST CONCRETE (SECTION)
- MORTAR NET (SECTION)
- STEEL (SECTION)
- WOOD BLOCKING (CONTINUOUS) (SECTION)
- WOOD BLOCKING (INTERMITTENT) (SECTION)
- WOOD SHEATHING
- WOOD (FINISH) (SECTION & ELEVATION)
- INSULATION (FIBROUS) (PLAN & SECTION)
- INSULATION (RIGID) (PLAN & SECTION)
- STUCCO (SECTION)
- STUCCO (ELEVATION)
- GYPSUM WALL BOARD (GWB) (REFLECTED CEILING PLAN)

NOTE: SOME MATERIALS SHOWN MAY NOT BE USED ON THIS PROJECT.

SYMBOLS LEGEND

- ROOM TAG — ROOM NAME / A202A
- DOOR TAG — D220A
- ASSEMBLY TAG — 27
- NEW COLUMN GRID LINE — 0
- EXISTING COLUMN GRIDLINE — 0
- KEY NOTE — ?
- WINDOW / FRAME TYPE — #
- DRAWING REFERENCE — 1 / A1-1 — VIEW NAME — 1/8" = 1'-0"
- BUILDING SECTION INDICATOR — ELEVATION OR DETAIL NUMBER / SHEET THAT DETAIL IS ON — 00 / A0-00 — SIM — POINTS IN DIRECTION OF DETAIL
- WALL SECTION INDICATOR — ELEVATION OR DETAIL NUMBER / SHEET THAT DETAIL IS ON — 00 / A0-00 — SIM — POINTS IN DIRECTION OF DETAIL
- SIGN TAG — ID / Type
- ELEVATION INDICATOR — Name / Elevation
- DIMENSION LINES — 1"
- NEW CONTOUR — ####
- EXISTING CONTOUR — ####
- HIDDEN LINE
- OVERHEAD OBJECT
- CENTER LINE
- MATCH LINE
- LIMITS OF CONSTRUCTION
- DEMOLISHED ITEMS

ABBREVIATIONS

ADD-X	ADDENDUM NO. X	HORIZ	HORIZONTAL	UNO	UNLESS NOTED OTHERWISE
AFF	ABOVE FINISH FLOOR	HVAC	HEATING VENTILATING & AIR CONDITIONING	VCT	VINYL COMPOSITION TILE
AHU	AIR HANDLING UNIT	IBC	INTERNATIONAL BUILDING CODE	VERT	VERTICAL
AL	ALUMINUM	ID	INSIDE DIAMETER	VFY	VERIFY
ALT	ALTERNATE	INCL	INCLUDED	VIF	VERIFY IN FIELD
ALT-X	ALTERNATE NO. X	INSUL	INSULATION	VWC	VINYL WALL COVERING
AM	ACOUSTIC MATERIAL	INT	INTERIOR	W	WIDE / WIDTH
AM-X	ACOUSTIC MATERIAL TYPE X	JT	JOINT	W/	WITH
ARCH	ARCHITECT / ARCHITECTURAL	L	LONG / LENGTH	W/O	WITHOUT
ATTEN	ATTENUATION	LAV	LAVATORY	WD	WOOD
AVE	AVENUE	LLH	LONG LEG HORIZONTAL	WOM	WALK OFF MAT
AVG	AVERAGE	LLV	LONG LEG VERTICAL		
B.O.	BOTTOM OF	MAS	MASONRY		
BIT	BITUMINOUS	MATL	MATERIAL		
BLDG	BUILDING	MAX	MAXIMUM		
BLKG	BLOCKING	MECH	MECHANICAL		
C/L	CENTER LINE	MFR	MANUFACTURER		
CEM	CEMENT / CEMENTITIOUS	MIN	MINIMUM		
CJ	CONTROL JOINT	MISC	MISCELLANEOUS		
CLG	CEILING	MO	MASONRY OPENING		
CLR	CLEAR	MTD	MOUNTED		
CMU	CONCRETE MASONRY UNIT(S)	MTL	METAL		
CONC	CONCRETE	NA	NOT APPLICABLE		
CONT	CONTINUOUS	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION		
CPT	CARPET	NIC	NOT IN CONTRACT		
CT	CERAMIC TILE	NO.	NUMBER		
CTR	CENTER	NRC	NOISE REDUCTION COEFFICIENT		
D	DEEP / DEPTH	NTS	NOT TO SCALE		
DBL	DOUBLE	OC	ON CENTER		
DEMO	DEMOLISH / DEMOLITION	OD	OUTSIDE DIAMETER		
DEPT	DEPARTMENT	OPNG	OPENING		
DF	DRINKING FOUNTAIN	OPP	OPPOSITE		
DIA / Ø	DIAMETER	PERF	PERFORATED		
DIM(S)	DIMENSION(S)	PLAM	PLASTIC LAMINATE		
DN	DOWN	PLBG	PLUMBING		
DTL	DETAIL	PLYWD	PLYWOOD		
DW	DISHWASHER	PNT	PAINT		
DWG	DRAWING	PREFAB	PREFABRICATED		
EA	EACH	PREFIN	PREFINISHED		
EJ	EXPANSION JOINT	PT	PORCELAIN TILE		
EL	ELEVATION	QT	QUARRY TILE		
ELEC	ELECTRICAL	QTY	QUANTITY		
EQ	EQUAL	R	RADIUS		
EQUIP	EQUIPMENT	RB	RUBBER BASE		
EWC	ELECTRIC WATER COOLER	RCP	REFLECTED CEILING PLAN		
EXIST	EXISTING	REF	REFERENCE / REFER TO		
EXT	EXTERIOR	REFR	REFRIGERATOR		
F.O.	FACE OF	REINF	REINFORCE (D) (ING)		
FAAB	FLUID APPLIED AIR BARRIER	REQD	REQUIRED		
FAAP	FIRE ALARM ANNUNCIATOR PANEL	RES	RESILIENT		
FACP	FIRE ALARM CONTROL PANEL	RO	ROUGH OPENING		
FBO	FURNISHED BY OWNER	ROW	RIGHT OF WAY		
FD	FLOOR DRAIN	RTU	ROOF TOP UNIT		
FDN	FOUNDATION	SC	SEALED CONCRETE		
FE	FIRE EXTINGUISHER	SCHED	SCHEDULE (D)		
FEC	FIRE EXTINGUISHER CABINET	SECT	SECTION		
FF	FINISHED FLOOR	SF	SQUARE FEET		
FFIN	FACTORY FINISH	SFT	STORE FRONT		
FRP	FIBERGLASS REINFORCED PLASTIC	SIM	SIMILAR		
FTG	FOOTING	SPEC	SPECIFICATION		
FURN	FURNISHING / FURNITURE	SQ	SQUARE		
GA	GAGE	SS	STAINLESS STEEL		
GALV	GALVANIZED	SSM	SOLID SURFACE MATERIAL		
GL	GLAZING	ST	STONE		
GL-X	GLAZING TYPE X	STL	STEEL		
GWB	GYPSUM WALL BOARD	STN	STAIN		
H	HIGH / HEIGHT	STRUCT	STRUCTURAL		
HC	HANDICAPPED	SV	SHEET VINYL		
HDW	HARDWARE	T&G	TONGUE & GROOVE		
HDWD	HARDWOOD	T.O.	TOP OF		
HM	HOLLOW METAL	TEMP	TEMPORARY		
		TV	TELEVISION		
		TYP	TYPICAL		

DRAWING INDEX

GENERAL INFORMATION SHEETS
G0-1 TITLE SHEET
G1-1 LIFE SAFETY PLAN AND BUILDING CODE ANALYSIS
G1-2 ACCESSIBLE ROUTE INFORMATION
G3-1 ASSEMBLY TYPES
G3-2 UL LISTINGS
G3-3 UL LISTINGS
G3-4 UL LISTINGS

CIVIL SHEETS
C0-0 NOTES AND DETAILS
C0-1 DEMOLITION PLAN
C1-0 SITE PLAN
C1-1 OVERALL SITE PLAN
C1-2 HORIZONTAL AND VERTICAL CONTROL PLAN

ARCHITECTURAL SHEETS
AS1-1 ARCHITECTURAL SITE PLAN
AD1-1 DEMOLITION PLAN
AD6-1 DEMOLITION REFLECTED CEILING PLAN
A1-1 FLOOR PLAN
A4-1 ENLARGED FLOOR PLANS AND INTERIOR ELEVATIONS
A4-2 INTERIOR ELEVATIONS
A4-3 INTERIOR ELEVATIONS
A4-4 INTERIOR ELEVATIONS
A4-5 INTERIOR ELEVATIONS AND INTERIOR DETAILS
A4-6 INTERIOR DETAILS
A4-7 INTERIOR DETAILS
A5-1 DOOR SCHEDULE / DETAILS
A6-1 REFLECTED CEILING PLAN
A7-1 FINISH PLAN
A7-2 SIGNAGE SCHEDULE AND DETAILS
A8-1 FURNITURE PLAN

MECHANICAL SHEETS
M0-1 MECHANICAL COVER SHEET
MEC1-0 MECHANICAL / ELECTRICAL CODE COMPLIANCE
MD1-1 MECHANICAL DEMOLITION FLOOR PLAN
M1-1 MECHANICAL FLOOR PLAN
M1-2 MECHANICAL PIPING FLOOR PLAN
M2-1 MECHANICAL SCHEDULES
M2-2 MECHANICAL HVAC ZONING PLAN

PLUMBING SHEETS
P0-1 PLUMBING COVER SHEET
PD1-1 PLUMBING DEMOLITION FLOOR PLAN
P1-1 PLUMBING FLOOR PLAN
P2-1 PLUMBING SCHEDULES

ELECTRICAL SHEETS
E0-1 ELECTRICAL COVER SHEET
ED1-1 LIGHTING DEMOLITION FLOOR PLAN
ED2-1 ELECTRICAL DEMOLITION FLOOR PLAN
E1-1 LIGHTING REFLECTED CEILING PLAN
E1-2 LIGHTING DETAILS
E2-1 ELECTRICAL FLOOR PLAN
E3-1 ELECTRICAL SCHEDULES
E3-2 ELECTRICAL SCHEDULES
E3-3 ELECTRICAL DETAILS

SECURITY ELECTRONICS SHEETS
SE0-0 SECURITY ELECTRONICS GENERAL NOTES, ABBREVIATIONS, AND SYMBOLS LEGEND
SE1-0 SECURITY ELECTRONICS FLOOR PLAN
SE1-1 SECURITY ELECTRONICS SITE AND ENLARGED PLANS
SE5-0 SECURITY ELECTRONICS DETAILS
SE7-0 SECURITY ELECTRONICS RISER DIAGRAMS

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MESA COUNTY JUSTICE CENTER SECOND FLOOR RENOVATION

125 N SPRUCE ST GRAND JUNCTION, CO 81501

TITLE SHEET

FOR CONSTRUCTION

REV. DESC. DATE:

DATE: 08/30/2024

PROJECT #: 23040

SHEET #:

G0-1

Project Team:

Print Date: 8/30/2024 10:13:43 AM

LIFE SAFETY PLAN LEGEND

1 HR FIRE SEPARATION

2 HR FIRE SEPARATION

OCCUPANCY GROUP BOUNDARY

CONTINUATION OF EGRESS PATH

EGRESS ROUTE

COMMON PATH OF EGRESS

NO RENOVATION WORK

EXIT LOAD

FIRE EXTINGUISHER — NEW AND EXIST SHOWN ON THIS PLAN, REF FLOOR PLAN FOR NEW

DIRECTION OF EGRESS

EMERGENCY EXIT LIGHT

EXIT LOAD

DIRECTION OF TRAVEL

REQUIRED WIDTH (INCHES) — 8 / 1.6" / 0.000"

ACTUAL WIDTH (INCHES)

COMMON PATH OF EGRESS TRAVEL — CPET = 30' / EATD = 132'

EXIT ACCESS TRAVEL DISTANCE

OCCUPANCY GROUP — S-2

USE — STORAGE

AREA — 250 | 100 | 3

OCCUPANT LOAD

OCCUPANT LOAD FACTOR

BUILDING CODE ANALYSIS

DESCRIPTION OF WORK: INTERIOR REMODEL OF EXISTING OFFICE SPACE THAT ENTAILS THE CREATION OF ONE NEW COURTROOM AND BUILD OUT OF NEW OFFICE SPACE.

CODE JURISDICTION:
2018 IEBC
2018 IBC, IFC, IMC, IECC
2023 NEC
2021 IFGC, IPC

COMPLIANCE METHOD:
WORK AREA METHOD PER 2018 IEBC CHAPTER 6

CLASSIFICATION OF WORK:
LEVEL 2 ALTERATION INVOLVING PARTIAL CHANGE OF OCCUPANCY PER 2018 IEBC

OCCUPANCY:
NEW A3 - ASSEMBLY
EXISTING B - BUSINESS

OCCUPANT LOADS (SECOND FLOOR ONLY):
A3 = 171
B = 162

CONSTRUCTION TYPE:
EXISTING CONSTRUCTION MOST CLOSELY RESEMBLES TYPE I-B CONSTRUCTION [IBC TABLE 601]
STRUCTURAL FRAME: 2 HRS
BEARING WALLS, EXTERIOR: 2 HRS
BEARING WALLS, INTERIOR: 2 HRS
NON-BEARING WALLS, EXTERIOR: 0 HRS*
*1 HR IF < 10 FT FIRE SEPARATION DISTANCE [IBC TABLE 602]
NON-BEARING WALLS, INTERIOR: 0 HRS
FLOOR CONSTRUCTION: 2 HRS
ROOF CONSTRUCTION: 1 HRS

MAX. ALLOWABLE STORIES PER 2018 IBC: 12 STORIES	ACTUAL: 4 STORIES [NO CHANGE]
MAX. ALLOWABLE BUILDING HEIGHT PER 2018 IBC: 180 FEET	ACTUAL: 69 FEET [NO CHANGE]
MAX. ALLOWABLE AREA PER 2018 IBC: UNLIMITED	ACTUAL: 24,520 SF [2ND FLOOR ONLY, EXIST, NO CHANGE]

AUTOMATIC SPRINKLER SYSTEM:
EXISTING, WILL BE MODIFIED

FIRE ALARM SYSTEM:
EXISTING , WILL BE MODIFIED

EXIT TRAVEL DISTANCE:
FOR A-3 OCCUPANCY:
COMMON PATH OF EGRESS TRAVEL: 75 FT WITH SPRINKLER SYSTEM [IBC TABLE 1006.2.1]
EXIT ACCESS TRAVEL DISTANCE: 250 FT WITH SPRINKLER SYSTEM [IBC TABLE 1017.2]

FOR B OCCUPANCY:
COMMON PATH OF EGRESS TRAVEL: 100 FT WITH SPRINKLER SYSTEM [IBC TABLE 1006.2.1]
EXIT ACCESS TRAVEL DISTANCE: 300 FT WITH SPRINKLER SYSTEM [IBC TABLE 1017.2]

PLUMBING FIXTURE COUNT:

OCCUPANCY TYPE	OCC LD	MEN	WOMEN	WC'S REQ'D M / W	LAV REQ'D M /W	DF REQ'D	SS REQ'D
BUSINESS	162	81	81	2.6 / 2.6	2.5 / 2.5	1.62	1
ASSEMBLY	171	86	86	0.7 / 1.3	0.4 / 0.4	0.3	1
TOTAL REQUIRED				3.3 / 3.9	2.9 /2.9	1.92	1
TOTAL EXISTING				6 / 8	4 / 6	2	1

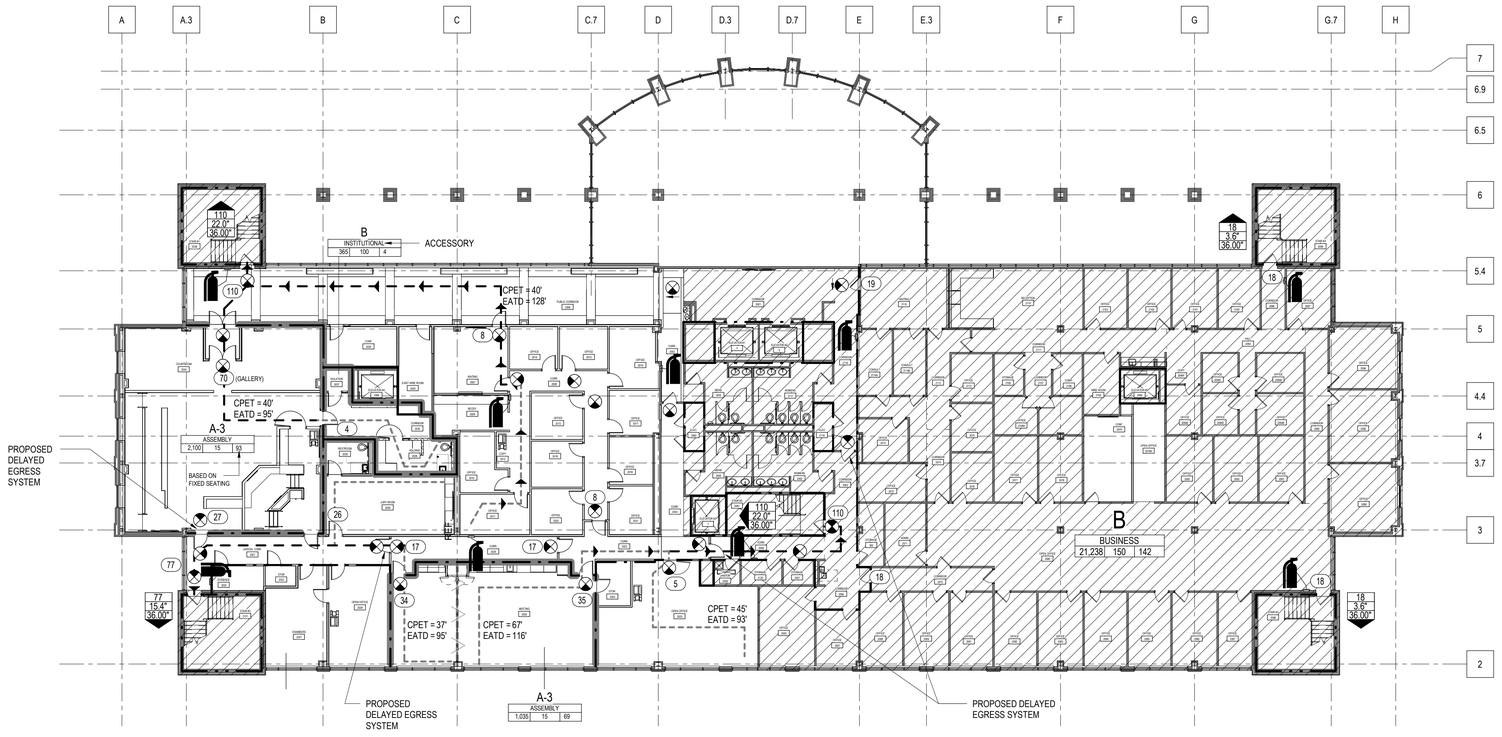
2018 INTERNATIONAL EXISTING BUILDING CODE CHAPTER 3 - PROVISIONS FOR ALL COMPLIANCE METHODS		
CODE SECTION	APPLICABLE?	COMMENTS
301	Yes	Work area compliance method used for this project.
302	Yes	Noted.
303	No	Existing structural system to remain.
304	No	Existing structural system to remain.
305	Yes	
305.1	Yes	Noted.
305.2	Yes	Noted.
305.3	Yes	Noted.
305.4	Yes	Project involves partial change of occupancy.
305.5	No	
305.6	Yes	New work will comply with Chapter 11 of the 2018 International Building Code.
305.7	Yes	Refer to sheet G0-2.
305.8	Yes	
305.8.1	No	No building entrances included in work area.
305.8.2	Yes	
305.8.3	Yes	Refer to alternates list.
305.8.4	No	
305.8.5	No	No existing ramps included in work area.
305.8.6	No	
305.8.7	No	
305.8.8	No	
305.8.9	Yes	New jury box to include accessible wheelchair space.
305.8.10	No	
305.8.11	No	Accessible family or assisted use toilet room not required by 2018 IBC 1190.2.1.
305.8.12	No	
305.8.13	No	
305.8.14	Yes	Noted.
305.8.15	No	
305.9	No	

2018 INTERNATIONAL EXISTING BUILDING CODE CHAPTER 7 - ALTERATIONS LEVEL 1		
CODE SECTION	APPLICABLE?	COMMENTS
701.1	Yes	
701.2	Yes	Noted.
701.3	No	
701.4	No	No existing emergency escape/rescue openings and none proposed.
702.1	Yes	New wall finishes to comply with Chapter 8 of the 2018 International Building Code.
702.2	Yes	New floor finishes to comply with Section 804 of the 2018 International Building Code.
702.3	Yes	New interior trim materials to comply with Section 806 of the 2018 international Building Code.
702.4	No	
702.5	No	
702.6	Yes	New work shall comply with materials and methods requirements of the IBC.
703.1	Yes	Existing fire sprinkler and fire alarm to be updated for new layout.
704.1	Yes	Noted.
705	No	
706	No	Existing structural system to remain.
707.1	Yes	Noted.

2018 INTERNATIONAL EXISTING BUILDING CODE CHAPTER 8 - ALTERATIONS LEVEL 2		
CODE SECTION	APPLICABLE?	COMMENTS
801	Yes	New construction shall comply with the 2018 IBC.
802.1	Yes	
802.2	No	No existing vertical openings included in work area.
802.3	No	
802.4	Yes	
802.5	No	No existing platforms 30" above floor level included in work area.
802.6	No	
803.1	Yes	
803.1.1	No	
803.2	Yes	Alterations to existing sprinklers to comply with Sec. 803.2.1/803.2.4 of 2018 IBC.
803.3	No	Work area is located less than 50 feet above or below level of fire department access.
803.4	Yes	Alterations to existing alarm system to comply with Sec. 803.4.1/803.4.3 of 2018 IBC
804	No	
805	Yes	
805.1	Yes	
805.2	Yes	
805.3	Yes	Number of exits for work area meets requirements of section.
805.4	Yes	Egress doors in work area meet requirements of section.
805.5	Yes	Corridor doors in work area meet requirements of section.
805.6	Yes	New layout does not include any dead-end corridors.
805.7	Yes	Means of egress in work area will have adequate lighting.
805.8	Yes	Exit signs provided for means of egress in work area.
805.9	Yes	Existing means of egress from work area has existing handrails.
805.10	No	
805.11	Yes	Existing means of egress from work area has existing guards.
806	No	Existing structural system to remain.
807	Yes	Newly installed electrical work shall comply with NFPA 70.
808	No	Existing mechanical system to be updated for new layout/occupancy.
809	No	Exist fixture count is adequate, refer to plumbing calculations on this sheet.
810	Yes	Alteration to comply with requirements of the IECC as they relate to new construction.

2018 INTERNATIONAL EXISTING BUILDING CODE CHAPTER 9 - ALTERATION LEVEL 3 (APPLIES PER 1011.1.1.2)		
CODE SECTION	APPLICABLE?	COMMENTS
901	Yes	Noted.
902	No	
903	Yes	No existing unenclosed stairways, interior finishes in exits will meet 802.4.
904	Yes	Existing fire sprinkler and fire alarm systems will be updated per IBC in work area.
905	Yes	Means of egress for work area will comply with 805, lighting and exit signs will meet 2018 IBC.
906	No	Existing structural system to remain.
907	Yes	New work will comply with 2009 IECC.

2018 INTERNATIONAL EXISTING BUILDING CODE CHAPTER 10 - CHANGE OF OCCUPANCY		
CODE SECTION	APPLICABLE?	COMMENTS
1001.1	Yes	
1001.2	Yes	Project involves a change of occupancy of a portion of the second floor.
1001.3	Yes	Noted.
1002	No	
1003	Yes	
1004	Yes	Noted.
1005	Yes	Noted.
1006	No	Existing structural system to remain.
1007	Yes	Electrical service and outlets in work area will meet NFPA 70.
1008	Yes	Ventilation will be updated for new occupancy in work area per IMC.
1009	Yes	Refer to plumbing calculations this sheet.
1010	Yes	Light and ventilation in work area will comply with requirements of IBC.
1011.1	Yes	Area of occupancy change will be separated from adjacent occupancies per IBC, therefore chapter 9 and chapter 10 apply to work area only.
1011.2	Yes	Existing fire sprinkler and fire alarm systems will be updated per IBC in work area.
1011.3	Yes	Interior finish of walls in work area will comply with 2018 IBC.
1011.4	Yes	Means of egress for work area will comply with 2018 IBC.
1011.5	Yes	Building height and area comply with 2018 IBC, refer to building code analysis this sheet.
1011.6	Yes	No exterior wall ratings required by 2018 IBC for work area.
1011.7	Yes	No existing unenclosed vertical shafts in work area.



1 G1-1 SECOND FLOOR LIFE SAFETY PLAN
1/16" = 1'-0"
NORTH

STATEMENT OF SPECIAL INSPECTIONS

Seismic Design Category: B Risk Category: III Wind Exposure Category: C

GENERAL
The International Building Code requires that special inspections be performed to verify that the materials and construction methods used comply with the construction documents and applicable standards.

MINIMUM REQUIRED SPECIAL INSPECTIONS
The owner or owner's agent shall be responsible for employing registered special inspectors from approved testing agencies to conduct inspections for each building material as described below. All special inspectors shall prepare an inspection report indicating compliance or noncompliance with appropriate requirements. Special inspection reports and reports of potentially necessary field repairs shall be provided to the architect, engineer, contractor and building official.

FABRICATORS (2018 IBC 1704.2.5)
Where fabrication of structural load-bearing members and assemblies is being performed on the premises of a fabricator's shop, special inspection of the fabricated items shall be required unless the work requiring special inspections is done on the premises of a fabricator registered and approved to perform such work without special inspection.

SPRAYED FIRE RESISTANT MATERIALS (2018 IBC 1705.14)
Special inspections for sprayed fire resistant materials shall be in accordance with manufacturers written instructions and the assemblies listing. Special inspections shall be based on the fire-resistance design as designated in the approved construction documents.
Inspections shall be performed to show compliance with:

Condition of substrates
Thickness of application.
Density in pounds per cubic foot (kg/m3).
Bond strength adhesion/cohesion.
Condition of finished application

FIRE-RESISTANT PENETRATIONS AND JOINTS (2018 IBC 1705.17)

Item	Requirement	Description
penetration fire stops	ASTM E 2174	Through penetrations and membrane penetrations
fire resistant joint systems	ASTM E 2393	Joints and perimeter fire barrier systems

TESTING FOR SMOKE CONTROL (2018 IBC 1705.18)

Requirement	Description
During erection of ductwork prior to concealment	Leakage test and recording of device location
Prior to occupancy	Pressure difference testing, flow measurements, detection and control

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GRAND JUNCTION, CO 81501

LIFE SAFETY PLAN AND BUILDING CODE ANALYSIS

FOR CONSTRUCTION

REV. DESC. DATE:

DATE: 08/30/2024

PROJECT #: 23040

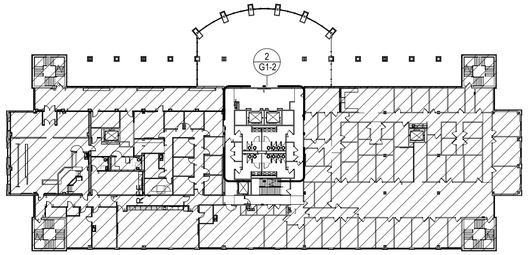
SHEET #:

G1-1

Project Team:
Print Date: 8/30/2024 10:13:45 AM

ACCESSIBLE ROUTE REQUIREMENTS

2018 INTERNATIONAL EXISTING BUILDING CODE CHAPTER 3 - SECTION 305.7 ACCESSIBLE ROUTE
THIS ALTERATION CONTAINS AN AREA OF PRIMARY FUNCTION (COURTROOM) AND 2018 IEBC SECTION 305.7 REQUIRES THAT THERE BE AN ACCESSIBLE ROUTE TO THE PRIMARY FUNCTION AREA WITH ACCESSIBLE TOILET FACILITIES AND DRINKING FOUNTAINS SERVING THE AREA OF PRIMARY FUNCTION. THE COST FOR PROVIDING THIS ACCESSIBLE ROUTE ARE NOT REQUIRED TO EXCEED 20 PERCENT THE COSTS OF THE ALTERATIONS AFFECTING THE AREA OF PRIMARY FUNCTION. CONTRACTOR TO PROVIDE SEPARATE LINE ITEM COSTS FOR EACH ITEM IDENTIFIED ON THE ACCESSIBILITY ENLARGED PLAN. IF COST OF ALL WORK IDENTIFIED ON THE ACCESSIBILITY ENLARGED PLAN EXCEEDS 20 PERCENT OF THE COST OF THE COURTROOM ALTERATION WORK, CONTRACTOR TO COORDINATE WITH THE OWNER TO IDENTIFY WHICH WORK SHOWN ON THE ACCESSIBILITY ENLARGED PLAN WILL BE COMPLETED TO MEET THE 20 PERCENT THRESHOLD.



NORTH

1 G1-2 OVERALL SECOND FLOOR PLAN
1" = 40'-0"

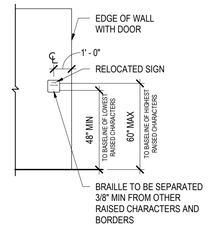
LEGEND

EXIST WALL

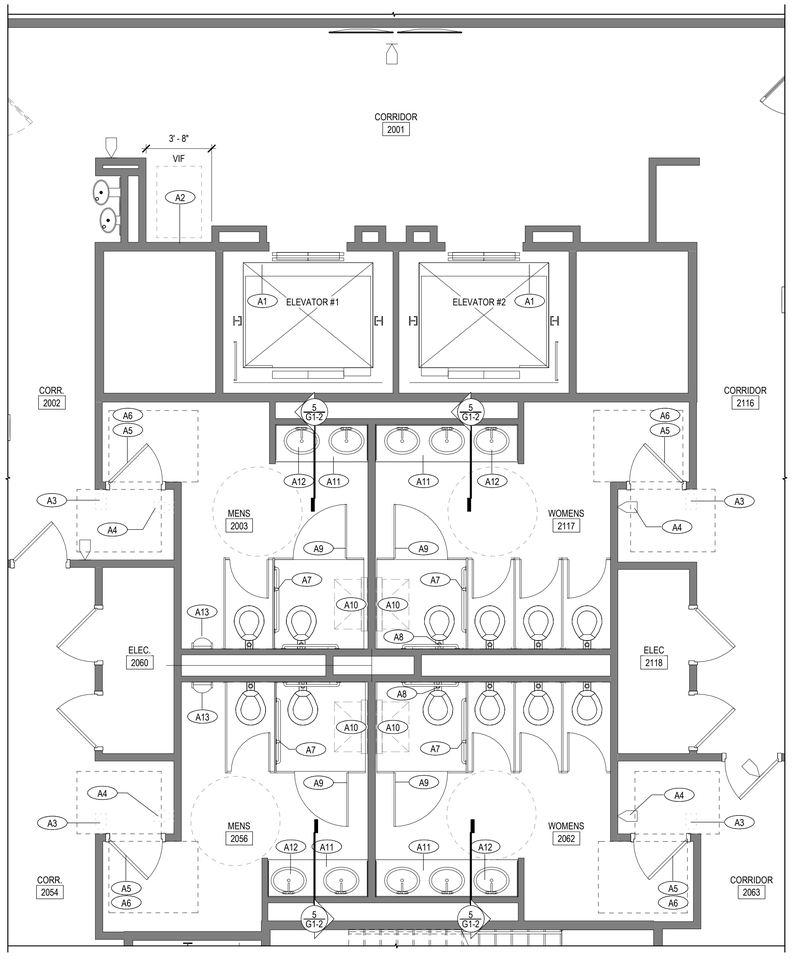
EXIST DOOR

GENERAL NOTES

1. DIMENSIONS ARE TO F.O. FINISH, UNO.
2. PROTECT ALL ITEMS TO REMAIN DURING DEMOLITION AND CONSTRUCTION.
3. PATCH, REPAIR, PAINT AND/OR REPLACE ANY ITEMS DAMAGED DURING DEMOLITION OR CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, GWB.
4. ALL OF THE WORK CALLED OUT ON THE ACCESSIBILITY PLAN MAY NOT BE REQUIRED. REFER TO **ACCESSIBLE ROUTE REQUIREMENTS** ON THIS PAGE FOR MORE INFORMATION.



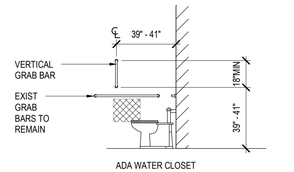
3 G1-2 INTERIOR DETAIL
1/4" = 1'-0"



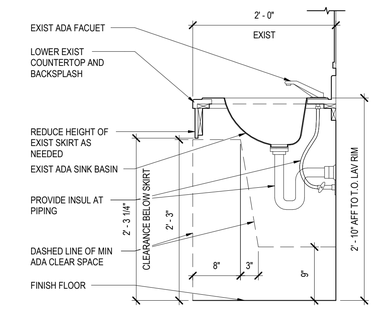
NORTH

2 G1-2 ACCESSIBILITY ENLARGED PLAN
1/4" = 1'-0"

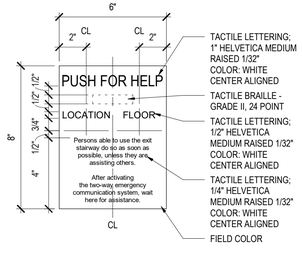
KEYNOTE LEGEND		REFERENCE
A1	PROVIDE AN EMERGENCY TWO WAY COMMUNICATION SYSTEM PER 2018 IBC 3001.2 IN ELEVATORS 1 AND 2. PROVIDE A SYSTEM SIMILAR TO RATH SMARTVIEW TWO-WAY ELEVATOR VISUAL COMMUNICATION SYSTEM THAT IS COMPATIBLE WITH EXISTING ELEVATOR AND COMMUNICATION SYSTEM. INCLUDE IN CAR DEVICE AND SEPARATE MONITORING STATION. COORDINATE WITH OWNER FOR LOCATION IN MONITORING STATION.	
A2	PROVIDE A TWO-WAY COMMUNICATION SYSTEM AND SIGNAGE AT ELEVATOR LANDING PER 2018 IBC 1009.8. PROVIDE A SYSTEM SIMILAR TO RATH SMARTRESCUE SYSTEM CALL BOX AND BASE STATION THAT IS COMPATIBLE WITH EXISTING ELEVATOR AND COMMUNICATION SYSTEM	REF: 6/G1-2
A3	REMOVE EXISTING JAMB SIGNAGE FOR RELOCATION.	
A4	RELOCATE EXISTING RESTROOM JAMB SIGNAGE AS INDICATED	REF: 3/G1-2
A5	ADJUST DOOR CLOSER SO THAT FORCE TO OPEN DOOR IS LESS THAN 5 LBS AND SWING TIME FROM 90 DEGREES OPEN TO 12 DEGREES OPEN IS 5 SECONDS MINIMUM	
A6	REMOVE EXISTING DOOR HANDLES AND LATCH AND PROVIDE PUSH/PULL PLATES FOR DOOR OPERATION. PUSH PLATES TO BE IVES 8200 16 INCH HIGH SS FINISH. PULL PLATES TO BE IVES 8203 16 INCH HIGH SS FINISH. PROVIDE BLANK PLATE TO COVER HOLE IN DOOR WHERE LATCH WAS REMOVED	
A7	PROVIDE NEW VERTICAL GRAB BAR	REF: 4/G1-2
A8	RELOCATE FLUSH VALVE TO WIDE SIDE OF WATER CLOSET	
A9	PROVIDE SELF CLOSING HINGES AT ACCESSIBLE STALL. PROVIDE SS PIANO HINGE 14 GAUGE 20 DEGREE CAM CLOSE HINGE.	
A10	REMOVE AND SALVAGE EXISTING DIAPER CHANGING STATIONS. RETURN TO OWNER. PATCH, REPAIR, AND REPAINT WALL WHERE CHANGING STATIONS WERE REMOVED.	
A11	LOWER COUNTERTOP/SINKS AND REDUCE SIZE OF FASCIA TO MEET REQUIRED ACCESSIBILITY CLEARANCES AS SHOWN. PATCH, REPAIR, AND REPAINT WALLS WHERE COUNTERTOPS WERE LOWERED.	REF: 5/G1-2
A12	PROVIDE INSULATION AT PIPING UNDER SINKS TYPICAL	
A13	NON-ACCESSIBLE URINAL TO REMAIN PER 2018 IBC 1109.2 EXCEPTION 4	



4 G1-2 GRAB BAR MOUNTING
1/4" = 1'-0"



5 G1-2 INTERIOR DETAIL
1" = 1'-0"



6 G1-2 INTERIOR DETAIL
3" = 1'-0"

BG+ co.
Architecture
Interior Design
Project Management
622 Rood Avenue
Grand Junction, CO 81501
970-242-1058 office
BLYTHE GROUP + co.

MESA COUNTY JUSTICE CENTER SECOND FLOOR RENOVATION

125 N SPRUCE ST GRAND JUNCTION, CO 81501

ACCESSIBLE ROUTE INFORMATION

FOR CONSTRUCTION

REV. DESC. DATE:

DATE: 08/30/2024

PROJECT #: 23040

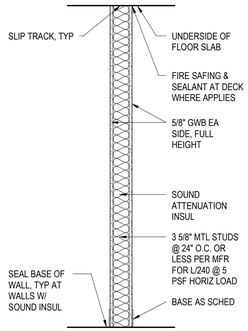
SHEET #:

G1-2

Project Team:
Print Date: 8/30/2024 10:13:49 AM

WALL TYPES

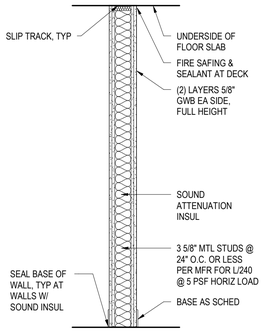
NOTE: ALL WALLS ARE SOUND INSULATING WITH THE EXCEPTION OF WALLS WITHOUT INSULATION



1 SOUND INSULATING ONLY

1U NO INSUL

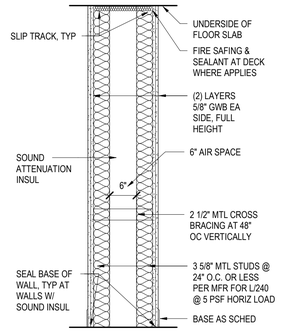
1R UL NO. U419, 1-HR



2 SOUND INSULATING ONLY

2R UL NO. U419, 2-HR

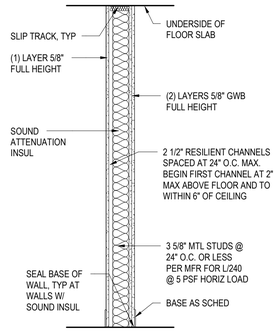
2r UL NO. U419, 1-HR EXTRA LAYER OF GWB FOR ACOUSTIC PURPOSES



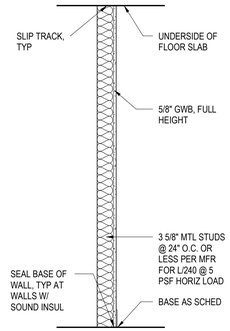
3R UL NO. U420, 2-HR

3r UL NO. U420, 1-HR EXTRA LAYER OF GWB FOR ACOUSTIC PURPOSES.

3rA UL NO. U420, 1-HR 3 1/2" AIR SPACE EXTRA LAYER OF GWB FOR ACOUSTIC PURPOSES

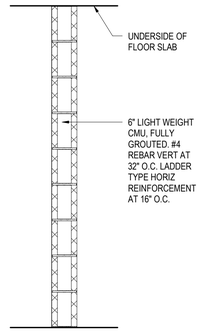


4 SOUND INSULATING ONLY



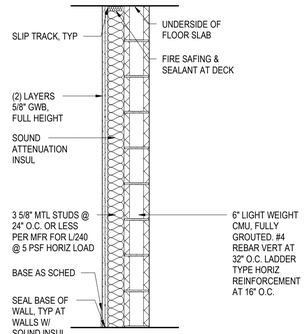
5

5U NO INSUL



6

6R 2-HR RATED UL U906



7R UL NO. U906, 2-HR

WALL TYPES GENERAL NOTES:

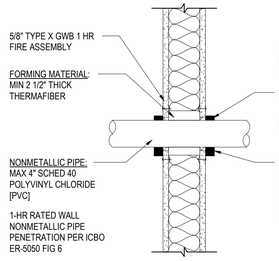
1.WALL TYPES ARE KEYED FROM FLOOR PLANS.
2. PROVIDE FIRE BLOCKING AS REQUIRED PER IBC SEC. 717.2. PROVIDE FIRE BLOCKING AT DOUBLE STUD WALLS VERTICALLY AT CEILING AND FLOOR LEVELS AND HORIZONTALLY AT 10'-0" MAX.
3. SEE DOOR SCHEDULE FOR CONDITIONS AT DOORS.
4. SEE FINISH SCHEDULE FOR APPLIED FINISHES.

CONSTRUCTION GUIDELINES FOR SOUND INSULATING PARTITIONS:

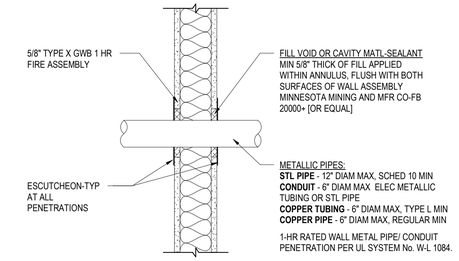
1. ALL SOUND INSULATING PARTITIONS ARE TO BE INSTALLED IN ACCORDANCE WITH ASTM E 497.
2. SOUND INSULATING PARTITIONS SHOULD ALWAYS BE FULL HEIGHT, FULL WIDTH, AND OF HOMOGENOUS CONSTRUCTION.
3. SOUND INSULATING PARTITIONS SHOULD ALWAYS BE SEALED AIRTIGHT. WHERE REQUIRED TO MEET THIS REQUIREMENT, GYPSUM BOARD PARTITIONS SHOULD HAVE THE FINAL LAYER OF GYPSUM BOARD UNDER-CUT OR HELD BACK 1/8" TO 1/4" AT PERIMETER AND SEALED WITH ACOUSTICAL CAULK OR SEALANT. MASONRY CONSTRUCTIONS SHOULD HAVE ANY GAPS LARGER THAN 1/2" FILLED WITH GROUT AND ANY GAPS SMALLER THAN 1/2" FILLED WITH ACOUSTICAL SEALANT.
4. WHERE MULTIPLE LAYERS OF GYPSUM BOARD ARE USED THE LAYERS SHOULD BE STAGGERED..
5. PENETRATIONS INTO A SOUND INSULATING PARTITION WILL REDUCE THE ACOUSTIC PERFORMANCE AND SHOULD BE AVOIDED. WHERE PENETRATIONS CANNOT BE AVOIDED: THE PENETRATION SHOULD BE RESILIENTLY SEALED AT THE PERIMETER AND THE PENETRATING OBJECT SHALL NOT COME INTO DIRECT CONTACT WITH THE PARTITION. ALL CONTACT SHOULD BE RESILIENT IN NATURE.
6. WHERE INDIVIDUAL BACK BOXES ARE INSTALLED ON EITHER SIDE OF A PARTITION THEY SHOULD BE STAGGERED MINIMUM OF 2'-0". BACK BOXES SHOULD BE COVERED WITH A PUTTY PAD.

FLOOR ASSEMBLIES GENERAL NOTES:

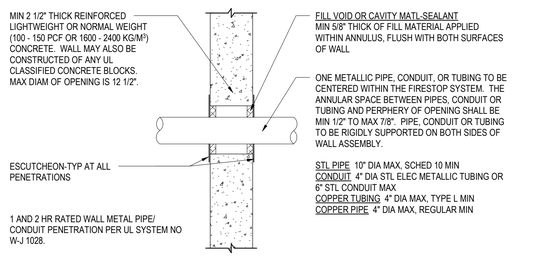
1. EXISTING FLOORS ARE 2 HOUR RATED PER UL DESIGN D780. REFER TO UL LISTING SHEETS FOR LISTING DETAILS.
2. EXISTING SPRAY APPLIED FIREPROOFING NEEDS TO BE PATCHED AND REPAIRED WHERE DAMAGED OR REMOVED DURING DEMOLITION/CONSTRUCTION.
3. ALL NEW PENETRATIONS IN EXISTING FLOOR NEED TO BE RATED.



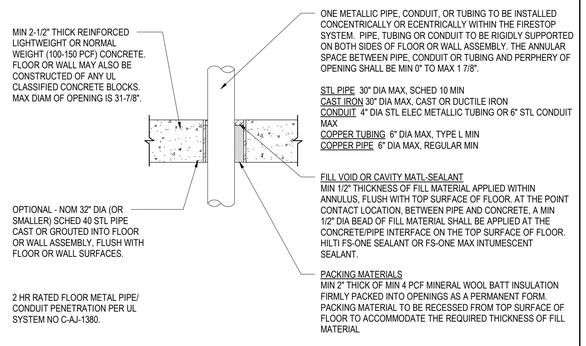
1 G3-1 — 1-HR RATED NON-METALLIC THROUGH PENETRATION
1 1/2" = 1'-0"



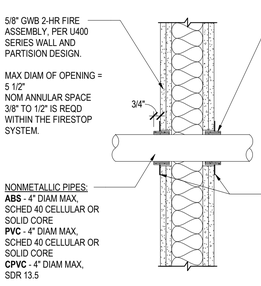
2 G3-1 — 1-HR RATED METALLIC THROUGH PENETRATION
1 1/2" = 1'-0"



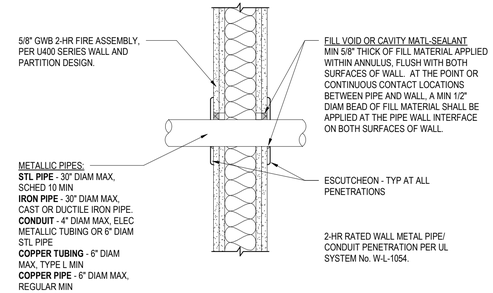
3 G3-1 — 1 AND 2 HR RATED METALLIC THROUGH CONC PENETRATION - WALL
1 1/2" = 1'-0"



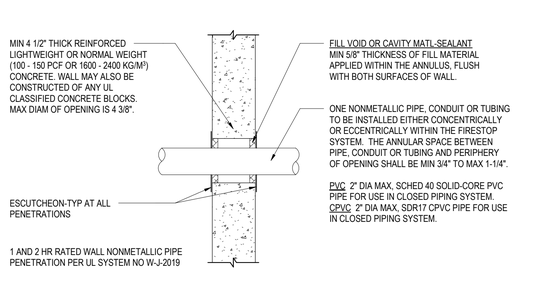
4 G3-1 — 2 HR RATED METALLIC THROUGH CONC PENETRATION - FLOOR
1 1/2" = 1'-0"



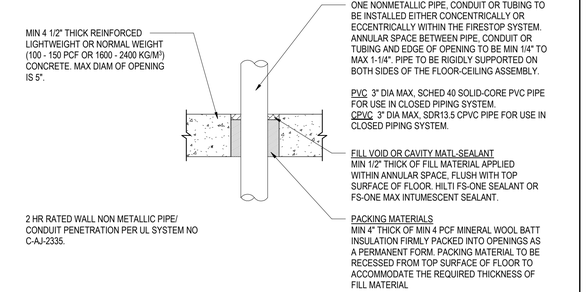
5 G3-1 — 2-HR RATED NON-METALLIC THROUGH PENETRATION
1 1/2" = 1'-0"



6 G3-1 — 2-HR RATED METALLIC THROUGH PENETRATION
1 1/2" = 1'-0"



7 G3-1 — 1 AND 2 HR RATED NON-METALLIC THROUGH CONC PENETRATION - WALL
1 1/2" = 1'-0"



8 G3-1 — 2 HR RATED NON-METALLIC THROUGH CONC PENETRATION - FLOOR
1 1/2" = 1'-0"

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622 Rood Avenue
Grand Junction, CO 81501
970-242-1058 office
BLYTHE GROUP + co.

MESA COUNTY JUSTICE CENTER SECOND FLOOR RENOVATION

125 N SPRUCE ST
GRAND JUNCTION, CO 81501

ASSEMBLY TYPES

FOR CONSTRUCTION

REV. DESC. DATE:

DATE: 08/30/2024

PROJECT #: 23040

SHEET #:

G3-1

Project Team:
Print Date: 8/30/2024 10:13:50 AM

BXUV - Fire Resistance Ratings - ANSI/UL 263 Certified for United States

BXUV7 - Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada

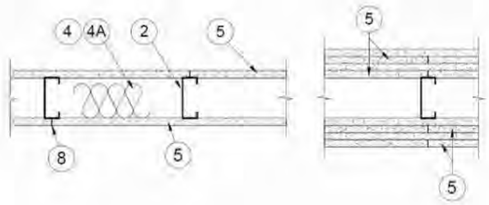
See General Information for Fire-resistance Ratings - ANSI/UL 263 Certified for United States
Design Criteria and Allowable Variances

See General Information for Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada
Design Criteria and Allowable Variances

Design No. **U419**

March 2, 2022

Nonbearing Wall Ratings — 1, 2, 3 or 4 Hr (See Items 4 & 5 through 5J)
*** Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.**



1. **Floor and Ceiling Runners —** (Not Shown) — For use with Item 2 — Channel shaped, fabricated from min 25 MSG corrosion-protected steel, min depth to accommodate stud size, with min 1-1/4 in. long legs, attached to floor and ceiling with fasteners 24 in. OC max.

2. **Steel Studs —** Channel shaped, fabricated from min 25 MSG corrosion-protected steel, min depth as indicated under Item 5, spaced a max of 24 in. OC. Studs to be cut 3/8 to 3/4 in. less than assembly height.

3. **Wood Structural Panel Sheathing —** (Optional, For use with Item 5 Only) — (Not Shown) — 4 ft wide, 7/16 in. thick oriented strand board (OSB) or 15/32 in. thick structural 1 sheathing (plywood) complying with DOC PS1 or PS2, or APA Standard PRP-108, manufactured with exterior glue, applied horizontally or vertically to the steel studs. Vertical joints centered on studs, and staggered one stud space from wallboard joints. Attached to studs with flat-head self-drilling tapping screws with a min. head diam. of 0.292 in. at maximum 6 in. OC in the perimeter and 12 in. OC in the field. When used, gypsum panels attached over OSB or plywood panels and fastener lengths for gypsum panels increased by min 1/2 in.

4. **Batts and Blankets* —** (Required as indicated under Item 5) — Mineral wool batts, friction fitted between studs and runners. Min nom thickness as indicated under Item 5. See **Batts and Blankets** (BKNV or BZJZ) Categories for names of Classified companies.

5. **Gypsum Board* —** Gypsum panels with beveled, square or tapered edges, applied vertically or horizontally. Vertical joints centered over studs and staggered one stud cavity on opposite sides of studs. Vertical joints in adjacent layers (multilayer systems) staggered one stud cavity. Horizontal joints need not be backed by steel framing. Horizontal edge joints and horizontal butt joints on opposite sides of studs need not be staggered. Horizontal edge joints and horizontal butt joints in adjacent layers (multilayer systems) staggered a min of 12 in. Horizontal edge joints and horizontal butt joints in adjacent layers (multilayer systems) with Type ULIX need not be staggered. The thickness and number of layers for the 1 hr, 2 hr, 3 hr and 4 hr ratings are as follows:

Gypsum Board Protection on Each Side of Wall

Rating, Hr	Min Stud Depth, in. Items 2, 2C, 2D, 2F, 2G, 2O	No. of Layers & Thkns of Panel	Min Thkns of Insulation (Item 4)
1	3-1/2	1 layer, 5/8 in. thick	Optional
1	2-1/2	1 layer, 1/2 in. thick	1-1/2 in.
1	1-5/8	1 layer, 3/4 in. thick	Optional
2	1-5/8	2 layers, 1/2 in. thick	Optional
2	1-5/8	2 layers, 5/8 in. thick	Optional
2	3-1/2	1 layer, 3/4 in. thick	3 in.
3	1-5/8	3 layers, 1/2 in. thick	Optional
3	1-5/8	2 layers, 3/4 in. thick	Optional
3	1-5/8	3 layers, 5/8 in. thick	Optional
4	1-5/8	4 layers, 5/8 in. thick	Optional
4	1-5/8	4 layers, 1/2 in. thick	Optional
4	2-1/2	2 layers, 3/4 in. thick	2 in.

CGC INC — 1/2 in. thick Type C, IP-X2 or IPC-AR, WRC, 5/8 in. thick Type AR, C, IP-AR, IP-X1, IP-X2, IPC-AR, SCX, SHX, ULIX, WRX or WRC, 3/4 in. thick Types IP-X3 or ULTRACODE

THE SIAM GYPSUM INDUSTRY (SONGKHLA) CO — 1/2 in. thick Type C and 5/8 in. thick Type SCX

UNITED STATES GYPSUM CO — 1/2 in. thick Type C, IP-X2, IPC-AR or WRC; 5/8 in. thick Type SCX, SGX, SHX, ULIX, WRX, IP-X1, AR, C, WRC, FRX-G, IP-AR, IP-X2, IPC-AR, 3/4 in. thick Types IP-X3 or ULTRACODE

USG BORAL DRYWALL SFZ LLC — 1/2 in. Type C; 5/8 in. Types C, SCX, SGX, ULTRACODE

USG MEXICO S A DE C V — 1/2 in. thick Type C, IP-X2, IPC-AR or WRC; 5/8 in. thick Type AR, C, IP-AR, IP-X1, IP-X2, IPC-AR, SCX, SHX, WRX, WRC or; 3/4 in. thick Types IP-X3 or ULTRACODE

6. **Fasteners —** (Not Shown) — For use with Items 2 and 2F - Type S or S-12 steel screws used to attach panels to studs (Item 2) or furring channels (Item 7). **Single layer systems:** 1 in. long for 1/2 and 5/8 in. thick panels or 1-1/4 in. long for 3/4 in. thick panels, spaced 8 in. OC when panels are applied horizontally, or 8 in. OC along vertical and bottom edges and 12 in. OC in the field when panels are applied vertically. **Single layer system with Type ULIX:** 1 in. long, spaced 12 in. OC in the field and perimeter, when panels are applied horizontally or vertically.**Two layer systems:** First layer- 1 in. long for 1/2 and 5/8 in. thick panels or 1-1/4 in. long for 3/4 in. thick panels, spaced 16 in. OC. Second layer- 1-5/8 in. long for 1/2 in., 5/8 in. thick panels or 2-1/4 in. long for 3/4 in. thick panels, spaced 16 in. OC with screws offset 8 in. from first layer.**Three-layer systems:** First layer- 1 in. long for 1/2 in., 5/8 in. thick panels, spaced 24 in. OC. Second layer- 1-5/8 in. long for 1/2 in., 5/8 in. thick panels, spaced 24 in. OC. Third layer- 2-1/4 in. long for 1/2 in., 5/8 in. thick panels or 2-5/8 in. long for 5/8 in. thick panels, spaced 12 in. OC. Screws offset min 6 in. from layer below. **Four-layer systems:** First layer- 1 in. long for 1/2 in., 5/8 in. thick panels, spaced 24 in. OC. Second layer- 1-5/8 in. long for 1/2 in., 5/8 in. thick panels, spaced 24 in. OC. Third layer- 2-1/4 in. long for 1/2 in. thick panels or 2-5/8 in. long for 5/8 in. thick panels, spaced 24 in. OC. Fourth layer- 2-5/8 in. long for 1/2 in. thick panels or 3 in. long for 5/8 in. thick panels, spaced 12 in. OC. Screws offset min 6 in. from layer below.

8. **Joint Tape and Compound —** Vinyl or casein, dry or premixed joint compound applied in two coats to joints and screw heads of outer layers. Paper tape, nom 2 in. wide, embedded in first layer of compound over all joints of outer layer panels. Paper tape and joint compound may be omitted when gypsum panels are supplied with a square edge.

BXUV - Fire Resistance Ratings - ANSI/UL 263 Certified for United States

BXUV7 - Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada

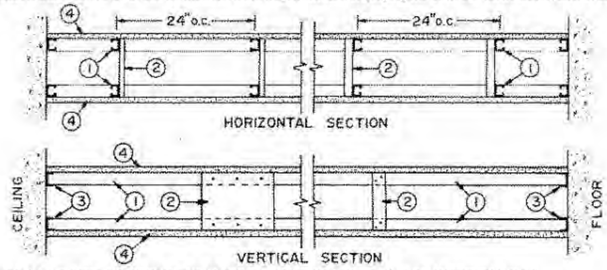
See General Information for Fire-resistance Ratings - ANSI/UL 263 Certified for United States
Design Criteria and Allowable Variances

See General Information for Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada
Design Criteria and Allowable Variances

Design No. **U420**

March 2, 2022

Nonbearing Wall Rating — 1 or 2 HR.
*** Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.**



1. **Studs —** Channel shaped, min. 1 5/8 in. depth. Fabricated from No. 25 MSG galv steel. Studs to be cut 1/4 in. less than assembly height.

2. **Bracing —** Cut from the steel runners, min. 4-1/4 in. long, fastened to the studs with two No. 8 by 1/2 in. long self-drilling, self-tapping steel screws in each stud. As an alternate, but limits the stud cavity depth to maximum 9-1/2 in., cut from the gypsum wallboard, 9-1/2 in. long and 12 in. wide, fastened to the studs with three Type S wallboard screws in each stud. Vertical spacing of bracing not to exceed 48 in. OC.

3. **Floor and Ceiling Runners —** Channel — shaped 1 5/8 in. wide with 1 in. legs, fabricated from No. 25 MSG galv steel. Attached to floor and ceiling with fasteners spaced 24 in. OC.

4. **Gypsum Board* — Any 5/8 in. thick UL Classified Gypsum Board that is eligible for use in Design Nos. L501, G512 or U305.** Nom 5/8 in. thick gypsum board with beveled, square, or tapered edges.
For 1 Hr Rating — One layer of gypsum board to be used. Applied vertically with joints centered over studs. Fastened to studs with 1 in. long, Type S, gypsum board screws spaced 8 in. OC at the joints, located 3/8 in. from the edges, and 12 in. OC in the field. Fasteners to be spaced 8 in. OC at the runners.

For 2 Hr Rating — Two layers of gypsum board to be used. The inner layer to be applied in the same manner as for the 1 Hr Rating. The outer layer to be fastened to the studs (through the inner layer) using 1 5/8 in. long, Type S, wallboard screws spaced 8 in. OC at the joints, located 3/8 in. from the edges and 12 in. OC in the field.

Fasteners to be spaced 8 in. OC at the runners. Joints to be staggered 24 in. from the inner layer.

AMERICAN GYPSUM CO (View Classification) — CKNX.R14196

BEIJING NEW BUILDING MATERIALS PUBLIC LTD CO (View Classification) — CKNX.R19374

CABOT MANUFACTURING ULC (View Classification) — CKNX.R25370

CERTAINTEED GYPSUM INC (View Classification) — CKNX.R3660

CGC INC (View Classification) — CKNX.R19751

CERTAINTEED GYPSUM INC (View Classification) — CKNX.R18482

GEORGIA-PACIFIC GYPSUM L L C (View Classification) — CKNX.R2717

LOADMASTER SYSTEMS INC (View Classification) — CKNX.R11809

NATIONAL GYPSUM CO (View Classification) — CKNX.R3501

NATIONAL GYPSUM CO (View Classification) — Riyadh, Saudi Arabia — CKNX.R15208

PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM (View Classification) — CKNX.R7094

PANEL REY S A (View Classification) — CKNX.R21796

SIAM GYPSUM INDUSTRY (SARABURI) CO LTD (View Classification) — CKNX.R19262

SAINT-GOBAIN GYPROC MIDDLE EAST FZE (View Classification) — CKNX.R27321

THAI GYPSUM PRODUCTS PCL (View Classification) — CKNX.R27517

THE SIAM GYPSUM INDUSTRY (SONGKHLA) CO (View Classification) — CKNX.R40305

UNITED STATES GYPSUM CO (View Classification) — CKNX.R1319

USG BORAL DRYWALL SFZ LLC (View Classification) — CKNX.R38438

USG MEXICO S A DE C V (View Classification) — CKNX.R16089

5. **Joint Tape and Compound —** Vinyl or casein, dry or premixed joint compound applied in two coats to joints and screw heads. Paper tape, 2 in. wide, embedded in first layer of compound over all joints.

6. **Batts and Blankets* —** (Optional, not shown) — Glass fiber batts may be installed in the interior of wall cavity. Any min. 3-1/2 in. thick glass fiber insulation bearing the UL Classification Marking as to Surface Burning Characteristics and/or Fire Resistance. Friction-fitted to fill the stud cavities. See **Batts and Blankets (BKNV or BZJZ) Categories** for names of Classified companies.

BG+ co.
Architecture
Interior Design
Project Management
622 Rood Avenue
Grand Junction, CO 81501
970-242-1058 office
BLYTHE GROUP + co.

MESA COUNTY JUSTICE CENTER SECOND FLOOR RENOVATION

125 N SPRUCE ST
GRAND JUNCTION, CO 81501

UL LISTINGS

FOR CONSTRUCTION

REV. DESC. DATE:

DATE: 08/30/2024

PROJECT #: 23040

SHEET #:

G3-2

Project Team:
Print Date: 8/30/2024 10:13:51 AM

BXUV - Fire Resistance Ratings - ANSI/UL 263 Certified for United States
BXUV7 - Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada

See General Information for Fire-resistance Ratings - ANSI/UL 263 Certified for United States
Design Criteria and Allowable Variances

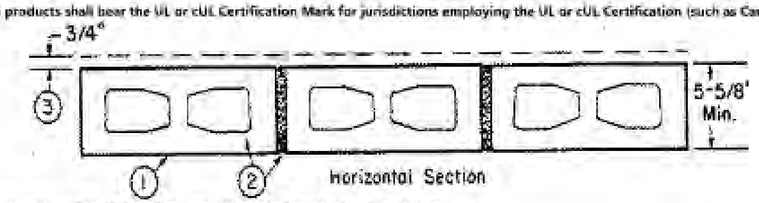
See General Information for Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada
Design Criteria and Allowable Variances

Design No. U906

April 14, 2023

Bearing Wall Rating — 2 HR.
Nonbearing Wall Rating — 2 HR.
This design was evaluated using a load design method other than the Limit States Design Method (e.g., Working Stress Design Method). For jurisdictions employing the Limit States Design Method, such as Canada, a load restriction factor shall be used — See Guide BXUV or BXUV7

*** Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.**



1. **Concrete Blocks*** — Nominal 6 by 8 by 16 in. hollow or solid. Various designs. Classification (2 hr).
See **Concrete Blocks** category for list of eligible manufacturers.

ANCHOR CONCRETE PRODUCTS INC

GAGNE & SON CONCRETE BLOCK INC

GLENWOOD MASONRY PRODUCTS

Allowable compressive stress of 57% of max allowable compressive stress in accordance with the empirical design method.

OLDCASTLE APG SOUTH INC, DBA ADAMS PRODUCTS

WESTBROOK CONCRETE BLOCK CO INC

Allowable compressive stress of 75.6% of max allowable compressive stress in accordance with the empirical design method.

2. **Mortar** — Blocks laid in full bed of mortar, nom. 3/8 in. thick, of not less than 3 1/4 and not more than 3-1/2 parts of clean sharp sand to 1 part Portland cement (proportioned by volume) and not more than 50 percent hydrated lime (by cement volume). Vertical joints staggered.

BG+co.
Architecture
Interior Design
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125 N SPRUCE ST
GRAND JUNCTION, CO 81501

UL LISTINGS

FOR CONSTRUCTION

REV.	DESC.	DATE:

DATE: 08/30/2024

PROJECT #: 23040

SHEET #:

G3-3

Project Team:
Print Date: 8/30/2024 10:13:52 AM

UL Product iQ®

Design/System/Construction/Assembly Usage Disclaimer

- Authorities Having Jurisdiction should be consulted in all cases as to the particular requirements covering the installation and use of UL Certified products, equipment, system, devices, and materials.
- Authorities Having Jurisdiction should be consulted before construction.
- Fire resistance assemblies and products are developed by the design submitter and have been investigated by UL for compliance with applicable requirements. The published information cannot always address every construction nuance encountered in the field.
- When field issues arise, it is recommended the first contact for assistance be the technical service staff provided by the product manufacturer noted for the design. Users of fire resistance assemblies are advised to consult the general Guide Information for each product category and each group of assemblies. The Guide Information includes specifics concerning alternate materials and alternate methods of construction.
- Only products which bear UL's Mark are considered Certified.

BXUV - Fire Resistance Ratings - ANSI/UL 263 Certified for United States
BXUV7 - Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada

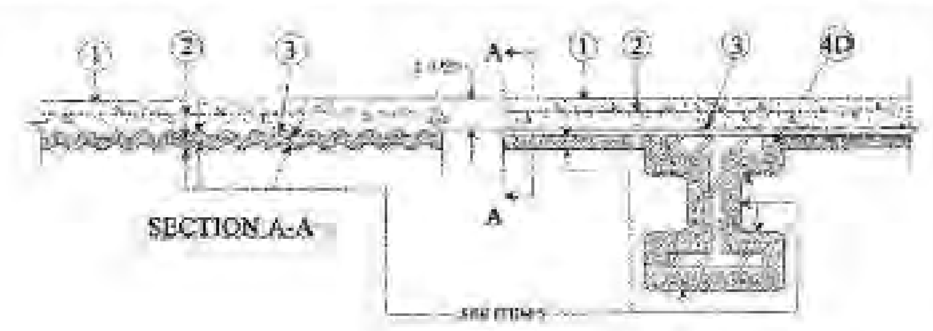
See General Information for Fire Resistance Ratings - ANSI/UL 263 Certified for United States
Design Criteria and Allowable Variances

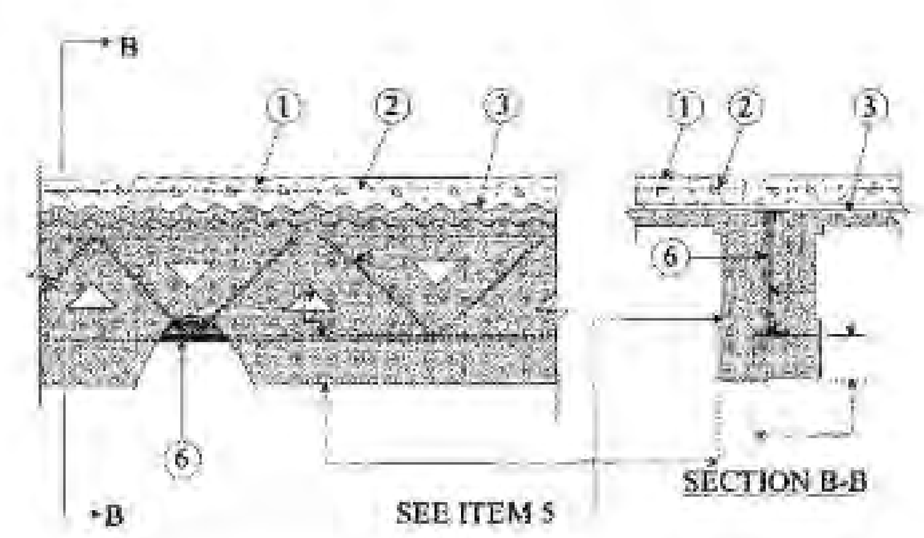
See General Information for Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada
Design Criteria and Allowable Variances

Design No. D780
August 02, 2024

Restrained Assembly Rating — 1, 1-1/2, 2 or 3 h
Unrestrained Assembly Rating — 1, 1-1/2, 2 or 3 h (See Item 5)
Unrestrained Beam Ratings — 1, 1-1/2, 2 or 3 h (See Item 5)
Restricted Load Condition — See Items 4 and 5B
This design was evaluated using a load design method other than the Limit States Design Method (e.g., Working Stress Design Method). For jurisdictions employing the Limit States Design Method, such as Canada, a load restriction factor shall be used — See Guide BXUV or BXUV7

*** Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.**





1. **Normal Weight or Lightweight Aggregate Concrete** — Normal weight carbonate or siliceous aggregate concrete, 150 plus over minus 3 pcf unit weight, 3500 psi compressive strength, vibrated. Lightweight concrete, expanded shale, clay, or slate aggregate by rotary-kiln method, 110 plus over minus 3 pcf unit weight, 3500 psi compressive strength, 4 to 7 percent entrapped air.

2. **Welded Wire Fabric** — 6 x 6 — W2.0 X W2.0.

3. **Steel Floor and Form Units** — No. 28 MSG galv corrugated sheet steel minimum. The description and sizes of the corrugated sheet steel units and the max beam spacing are as follows:

Steel Deck Unit In.	Nom Pitch In.	Sheet Steel Gauge MSG	Max Beam Spacing
9/16	2-1/2	28	3 ft. 6 in. O.C.
15/16	2-5/8	26	5 ft. 0 in. O.C.
1-5/16	5	26	6 ft. 6 in. O.C.
1-5/16	5	24	7 ft. 0 in. O.C.
1-5/16	5	22	7 ft. 6 in. O.C.
1-5/16	5	20	8 ft. 0 in. O.C.

Units welded to each steel beam, 36 welds per 100 sq ft of form units with at least one weld at each side joint. Welding of deck adjacent between beams for deck spans ranging between 3 ft. 6 in. and 6 ft. 6 in. O.C. shall be at least two welds at each side joint. Welding of side joints for spans greater than 6 ft. 6 in. O.C. shall be a minimum of three welds at each side joint.

Any Manufacturer — Corrugated deck having cross-section similar to above description.

3A. **Steel Floor and Form Units** — As an alternate to Item 3, Composite or non-composite, 1-1/2, 2, or 3 in. deep galv fluted units. Min gauge is No. 22 MSG. Spacing of welds attaching units to supports shall be at each side of joint and not to exceed 12 in. OC between joints. Adjacent units button punched or welded together 36 in. OC at joints.
CANAM GROUP INC — 36 in. wide Type P-3623, P-3606 and P-3615 composite, 24 in wide Type P-2432 composite. Type 3 in. Lok Floor. Type LF3 unit may be phos/painted or galvanized/painted. 36 in. wide Types 1.5B, 1.5BI, 1.5BL and 1.5BL 24 in or 36 in. wide, Type 1.5.

CANAM STEEL CORP — Types B, B Lok, Fl Lok, 1-1/2, 2 and 3 in. Lok Floor. LFS and LFX. Units may be phos/painted or galvanized/painted.

VERCO DECKING INC - A NUCOR CO — Types PLB, HSB, PLNB, HSNB, PLN, N and FORMLOK™ deck types PLB, B, BR, PLN3, N3, PLN, N, PLW2, W2, PLW3, W3. Units are min 24 in. wide and may be galvanized or phos/ptd.

VULCRAFT, DIV OF NUCOR CORP — 24, 30 and 36 in. wide Type 1.5VLI, 24 or 36 in. wide Types 2VLI, 3VLI. Types 1.5VLI, 2VLI and 3VLI units may be phos/ptd. Type BW Slotted Deck.

4. **Steel Joists** — 10K1 or 10K2 min size with a max tensile stress of 30,000 psi or 12K3 min size with max tensile stress of 24,000 psi.

4A. As an alternate to Item 4, LH Series joists spanning no greater than 60 ft. For spans greater than 60 ft, deflection under the published total load shall not be greater than 1/277 of the joist span.

4B. **Composite Joists** — (Not shown) — As an alternate to Items 4 and 4A, steel joists designed for full composite action with the concrete slab. Min overall depth 13 in. Min area of joist members shall be 0.708 square in. for top and bottom chord angles and 0.442 square in. for web. Designed in accordance with SJI Specifications for K Series joists as revised to November 18, 1985.

4C. **Structural Steel Members*** — (Not shown) — As an alternate to Items 4, 4A and 4B — (Not shown) — Composite joists with top chord embedded in concrete slab. Welded to end supports. Min area of joist members shall be 0.708 square in. for top and bottom chord angles and 0.442 square in. for web.

VESCOM STRUCTURAL SYSTEMS INC — Type V.

4D. **Steel Beams** — W8x28 min size. As an alternate to steel joists, Items 4, 4A, 4B and 4C.

4E. **Horizontal Bridging** — (Not shown) — Min 1-1/4 by 1-1/4 by 1/8 in. thick steel angles for use with noncomposite joists (Item 4). Number and spacing per Steel Joist Institute specifications. Welded to top and bottom chord of the joists. Min thickness of Spray-Applied Fire Resistive Materials on bridging angles is 1-1/2 in.

5. **Spray-Applied Fire Resistive Materials*** — Applied by mixing with water and spraying in no more than one coat to a final thickness as shown below to steel surfaces which must be free of dirt, loose scale and oil. Min avg and min ind density of 15/14 pcf, respectively. For method of density determination, see Design Information Section, Sprayed Materials.

Restrained Assembly Rating Hr	Unrestrained Assembly Rating Hr	Unrestrained Beam Rating Hr	on Deck	on Beam
1	1	1	3/8	7/16
1-1/2	1	1	1/2	7/16
1-1/2	1-1/2	1-1/2	1/2	3/4
2	1	1	1/2	7/16
2	2	2	5/8	1
3	1-1/2	1-1/2	1/2	3/4
3	3	3	7/8	1-5/16

Restrained Assembly Rating Hr	Unrestrained Assembly Rating Hr	Unrestrained Beam Rating Hr	LH Joist	Joist Thickness 10K1 more than 4 ft OC	10K1 less than 4 ft OC	16K2 more than 4 ft OC	16K2 less than 4 ft OC
1	1	1	1-1/8	1-1/8	15/16	15/16	15/16
1-1/2	1	1	1-5/16	1-5/16	1-5/16	1-1/4	1-3/16
1-1/2	1-1/2	1-1/2	1-1/2	1-5/8	1-7/16	1-1/4	1-3/16
2	1	1	1-7/16	1-7/16	1-7/16	1-9/16	1-1/2
2	2	2	1-1/2	2-3/16	1-15/16	1-9/16	1-1/2
3	1-1/2	1-1/2	1-1/2	3-1/4	2-13/16	2-1/4	2-1/8
3	3	3	3-1/4	3-1/4	2-13/16	2-1/4	2-1/8

ARABIAN VERMICULITE INDUSTRIES — Types MK-6/CBF, MK-6/ED, MK-6/HY, MK-6/HY Extended Set, MK-10 HB, MK-10 HB Extended Set, MK-6/HB, MK-6s.

GCP APPLIED TECHNOLOGIES INC — Types MK-6 GF, MK-6/HY, MK-6/HY Extended Set, MK-10 HB, MK-10 HB Extended Set, MK-6/HB, MK-6s, RG.

GCP KOREA INC — Types MK-6/CBF, MK-6/ED, MK-6 GF, MK-6/HY, MK-6/HY Extended Set, MK-10 HB, MK-10 HB Extended Set, MK-6/HB, MK-6s.

5A. **Spray-Applied Fire Resistive Materials*** — Applied by mixing with water and spraying in more than one coat to a final thickness as shown below to steel surfaces which must be free of dirt, loose scale and oil. When steel deck is used, the area between the steel deck and the beams top flange shall be filled. Min avg and min ind density of 22/19 pcf, respectively for Types Z-106, Z-106/HY and Z-106/G. Min avg and min ind density of 40/36 pcf, respectively for Z-146. Application to steel deck requires the installation of expanded metal lath with Type Z-146. See Item 6B. For method of density determination, see Design Information Section, Sprayed Materials.

Restrained Assembly Rating Hr	Unrestrained Assembly Rating Hr	Unrestrained Beam Rating Hr	on Deck	on Beam
1	1	1	7/16	7/16
1-1/2	1	1	9/16	7/16
1-1/2	1-1/2	1-1/2	9/16	3/4
2	1	1	9/16	7/16
2	2	2	5/8	1
3	1-1/2	1-1/2	9/16	3/4
3	3	3	7/8	1-5/16

Restrained Assembly Rating Hr	Unrestrained Assembly Rating Hr	Unrestrained Beam Rating Hr	LH Joist	Joist Thickness 10K1 more than 4 ft OC	10K1 less than 4 ft OC	16K2 more than 4 ft OC	16K2 less than 4 ft OC
1	1	1	1-1/8	1-1/8	15/16	15/16	15/16
1-1/2	1	1	1-5/16	1-5/16	1-5/16	1-1/4	1-3/16
1-1/2	1-1/2	1-1/2	1-1/2	1-5/8	1-7/16	1-1/4	1-3/16
2	1	1	1-7/16	1-7/16	1-7/16	1-9/16	1-1/2
2	2	2	1-1/2	2-3/16	1-15/16	1-9/16	1-1/2
3	1-1/2	1-1/2	1-1/2	2-1/4	2-13/16	2-1/4	2-1/8
3	3	3	3-1/4	3-1/4	2-13/16	2-1/4	2-1/8

ARABIAN VERMICULITE INDUSTRIES — Types Z-106, Z-106/G, Z-106/HY, Z-146 investigated for exterior use.

GCP APPLIED TECHNOLOGIES INC — Types Z-106, Z-106/G, Z-106/HY, Z-146 investigated for exterior use.

GCP KOREA INC — Types Z-106, Z-106/G, Z-106/HY, Z-146 investigated for exterior use.

5B. **Alternate Spray-Applied Fire Resistive Materials*** — Applied by mixing with water and spraying in more than one coat to final thicknesses as shown in the illustration above and in the table below to steel surfaces which must be clean and free of dirt, loose scale and oil. For minimum and maximum density of Types MK-6/CBF, MK-6/ED, MK-6 GF, MK-6/HY, MK-6/HY Extended Set, MK-6/HB, MK-6s see Item 5; Z-106, Z-106/G, Z-106/HY, Z-146 see Item 5A.

Restrained Assembly Rating Hr	Unrestrained Assembly Rating Hr	Unrestrained Beam Rating Hr	Joist thickness 12K3** more than 4 ft OC	12K3** less than 4 ft OC
1	1	1	15/16	15/16
1-1/2	1-1/2	1-1/2	1-1/4	1-3/16
2	2	2	1-9/16	1-1/2
3	3	3	2-1/4	2-1/8

**Design load shall stress the 12K3 joist to a maximum tensile strength of 24,000 psi, which represents 80% of the maximum allowable design loading. Based on the Steel Joist Institute (SJI) Publication "Catalog of Standard Specifications and Load Tables for Steel Joists and Joist Girders" for guidance on how to increase the design loading accordingly.

ARABIAN VERMICULITE INDUSTRIES — Types MK-6/CBF, MK-6/ED, MK-6/HY, MK-6/HY Extended Set, MK-10 HB, MK-10 HB Extended Set, MK-6/HB, MK-6s, Z-106, Z-106/G, Z-106/HY, Z-146 investigated for exterior use.

GCP APPLIED TECHNOLOGIES INC — Types MK-6 GF, MK-6/HY, MK-6/HY Extended Set, MK-10 HB, MK-10 HB Extended Set, MK-6/HB, MK-6s, RG, Z-106, Z-106/G, Z-106/HY, Z-146 investigated for exterior use.

GCP KOREA INC — Types MK-6/CBF, MK-6/ED, MK-6 GF, MK-6/HY, MK-6/HY Extended Set, MK-10 HB, MK-10 HB Extended Set, MK-6/HB, MK-6s, Z-106, Z-106/G, Z-106/HY, Z-146 investigated for exterior use.

6. **Metal Lath** — (Optional) — Metal lath may be used to facilitate the spray application of spray-applied resistive materials to steel bar joists and trusses. The diamond mesh 3/8 in. expanded steel lath, 1.7 to 3.4 lb per sq yd is secured to one side of each steel joist with No. 18 SWG galv steel wire at joist web and bottom chord members, spaced 15 in. OC max. When used, the metal lath is to be fully covered with spray-applied resistive materials with no min thickness requirements.

6A. **Nonmetallic Fabric Mesh** — (Optional, not shown) — Glass fiber mesh weighing approx 1.25 oz per sq yd, polypropylene fabric mesh, weighing approx 1.25 oz per sq yd or equivalent, may be used to facilitate the spray application. The mesh is secured to one side of each joist web member. The method of attaching the mesh must be sufficient to hold the mesh and the spray-applied resistive materials in place during application until it has cured. An acceptable method to attach the mesh is by embedding the mesh in min 1/4 in. long beads of hot melted glue. The beads of glue shall be spaced a max of 12 in. OC along the top chord of the bar joist. Another method to secure the mesh is by 1-1/4 in. long by 1/2 in. wide hairpin clips formed from No. 18 SWG or heavier steel wire.

6B. **Metal Lath** — (Not shown) — (Required with Z-146, Sonophene 35, and Monokote Acoustic 35, otherwise optional) — Metal lath shall be 3/8 in. expanded diamond mesh weighing 2.5 lb per sq yd. Secured to underside of steel deck with No. 12 by 3/8 in. pan head self-drilling, self-tapping screws and steel washers with an outside diam of 1/2 in. screws spaced 12 in. OC in both directions with lath edges overlapped approx 1 in.

7. **Shear Connector — Studs — Optional** — (Not shown) — Studs 3/4 in. diameter by 3 in. long headed type or equivalent per AISC specifications. Welded to the top flange of beam through the steel form units.

*** Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.**
Last Updated on 2024-08-02

BG+ co.
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MESA COUNTY JUSTICE CENTER SECOND FLOOR RENOVATION

125 N SPRUCE ST
GRAND JUNCTION, CO 81501

UL LISTINGS

FOR CONSTRUCTION

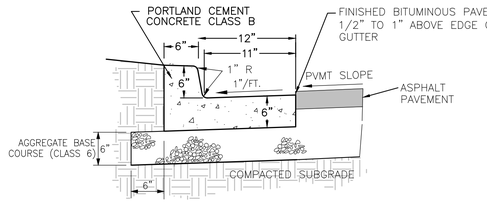
REV. DESC. DATE:

DATE: 08/30/2024
PROJECT #: 23040
SHEET #:
G3-4

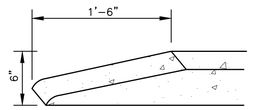
Project Team:
Print Date: 8/30/2024 10:13:52 AM

GENERAL NOTES:

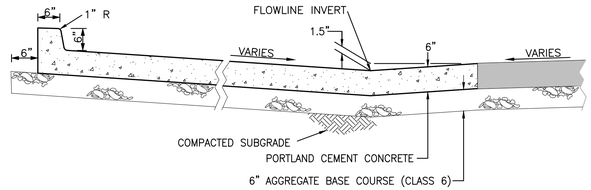
1. ALL MATERIALS AND WORKMANSHIP SHALL MEET OR EXCEED THE REQUIREMENTS OF THE CITY OF GRAND JUNCTION STANDARD CONTRACT DOCUMENTS (SPECIFICATIONS, STANDARD DRAWINGS, AND EXHIBITS) UNLESS OTHERWISE NOTED HEREON.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR WORK IN THE CITY RIGHT-OF-WAY AND ALL TRAFFIC CONTROL NECESSARY FOR THE COMPLETION OF THE WORK. THE CONTRACTOR WILL BE REQUIRED TO SUBMIT A TRAFFIC CONTROL PLAN FOR WORK COMPLETED IN THE RIGHT-OF-WAY. CONTACT DEVELOPMENT INSPECTOR: MARK BARSLUND 970-201-1362 48 HOURS PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL HAVE ONE COPY OF THE PLANS AND A COPY OF THE CITY OF GRAND JUNCTION STANDARD EXHIBITS AND SPECIFICATIONS ON SITE AT ALL TIMES.
4. THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN ON THESE PLANS IS APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, PUBLIC AND PRIVATE, IN THE FIELD BEFORE PERFORMING ANY WORK.
5. THE CONTRACTOR SHALL COORDINATE WITH ALL AFFECTED UTILITIES REGARDING RELOCATIONS AND ADJUSTMENTS DURING CONSTRUCTION TO ACCOMPLISH THE WORK IN A TIMELY MANNER WITH MINIMUM INTERRUPTION IN SERVICE.
6. ELEVATIONS PROVIDED WHERE PROPOSED IMPROVEMENTS TIE TO EXISTING IMPROVEMENTS SHALL VERIFIED BY THE CONTRACTOR.
7. ANY ASPHALT PAVEMENT REMOVAL AND REPLACEMENT IN THE CITY RIGHT-OF-WAY SHALL BE DONE BY WHEEL CUT OR JACKHAMMER. PAVEMENT PATCHING SHALL BE IN ACCORDANCE WITH CITY OF GRAND JUNCTION STANDARDS AND SPECIFICATIONS.
8. DUST CONTROL MEASURES MUST BE TAKEN DURING CONSTRUCTION IN ACCORDANCE WITH MUNICIPAL CODE 16-126, AND CONSTRUCTION PARKING AREAS MAINTAINED AS REQUIRED AT ZD 6.6.A.9.b.
9. CONSTRUCTION STAKING IS THE CONTRACTORS RESPONSIBILITY.
10. UNLESS OTHERWISE SPECIFIED ALL FILL AND BASE OF CUTS SHALL BE COMPACTED TO AT LEAST 95% OF ASTM-D698, WITHIN 2% OF OPTIMUM MOISTURE CONTENT.
11. ANY EXCESS SOIL MATERIALS SHALL BE DISPOSED OF BY THE CONTRACTOR OFF SITE IN A LEGAL MANNER.
12. ONSITE CONCRETE SIDEWALKS SHALL CONTAIN 1.5 LBS PER CUBIC YARD OF APPROVED POLYPROPYLENE FIBERS (FIBERMESH). ANY CONCRETE REMOVAL AND REPLACEMENT IN THE CITY RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH CITY OF GRAND JUNCTION STANDARDS AND SPECIFICATIONS.



'CATCH' CURB & GUTTER
N.T.S.

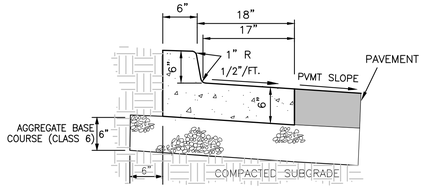


CURB TRANSITION
NTS

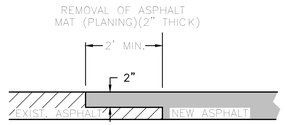


INSTALL AND SEAL CONTROL JOINTS EVERY 10'.

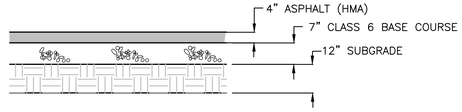
CONCRETE AREA PAVING DETAIL
N.T.S.



'SPILL' CURB & GUTTER
N.T.S.



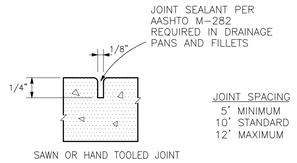
PAVEMENT TIE IN DETAIL
N.T.S.



AGGREGATE BASE COURSE SHALL BE COMPACTED TO 95% OF ITS MAXIMUM DRY DENSITY IN ACCORDANCE WITH AASHTO T-180 WITHIN 2% OF OPTIMUM MOISTURE CONTENT.

SCARIFY, ADJUST MOISTURE, AND RECOMPACT 12" SUBGRADE TO AT LEAST 95% OF AASHTO T-99 BETWEEN 2% BELOW TO 2% ABOVE THE OPTIMUM MOISTURE CONTENT.

PARKING AREA PAVEMENT SECTION
N.T.S.



CONTRACTION JOINT DETAIL
NTS

ACCEPTANCE BLOCK

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CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY DEVELOPMENT ENGINEER DATE

CITY PLANNER DATE

BG+ co.
Architecture
Interior Design
Project Management
622 Rood Avenue
Grand Junction, CO 81501
970-242-1058 office
BLYTHE GROUP + co.

RCE Rolland Consulting Engineers, LLC
405 Ridges Blvd. Suite A
Grand Junction, CO 81507
Voice: (970) 243-8300
Fax: (970) 241-1273
www.rcegj.com

MESA COUNTY JUSTICE CENTER SECOND FLOOR RENOVATION

125 N SPRUCE ST
GRAND JUNCTION, CO 81501

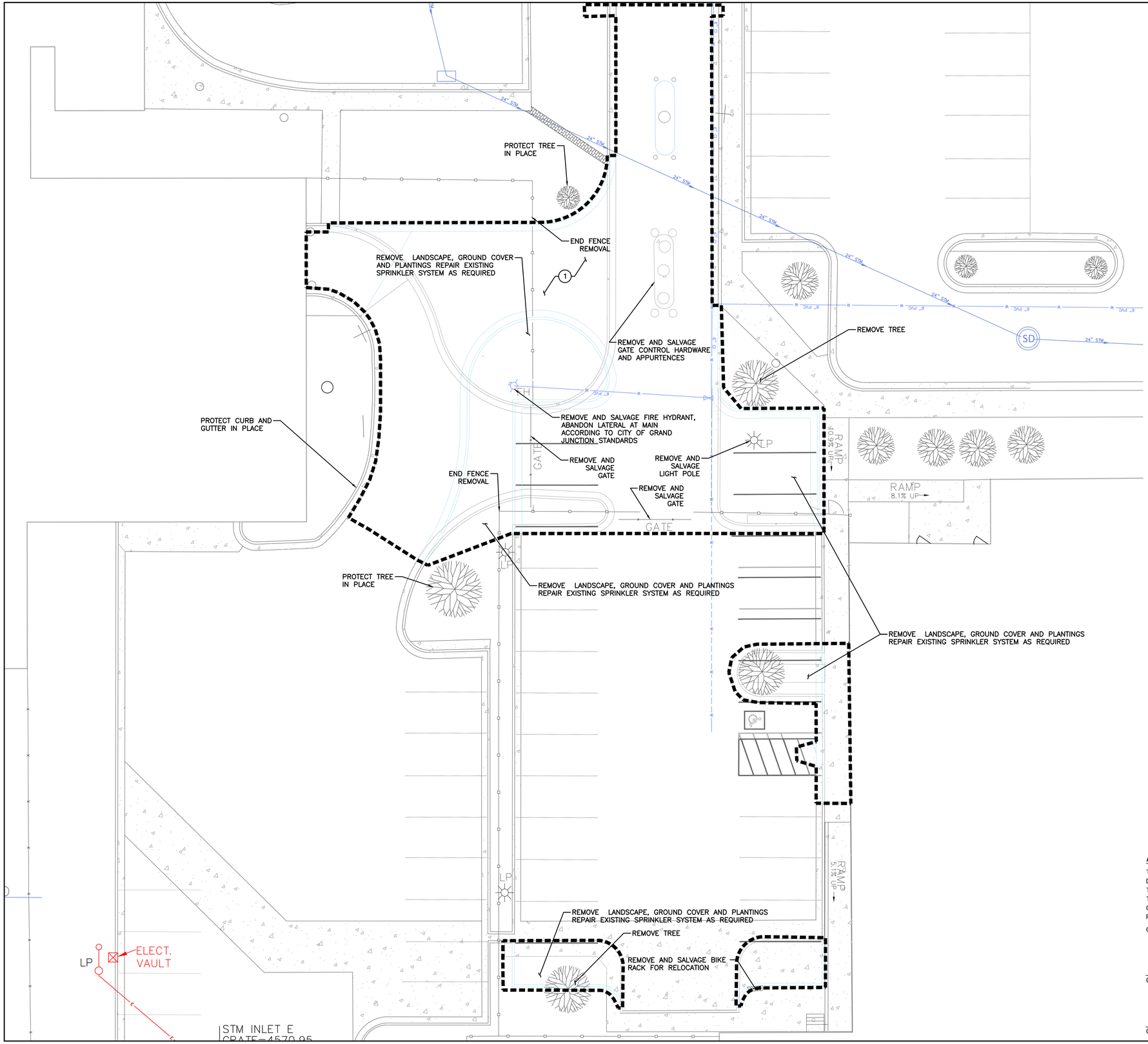
NOTES AND DETAILS

FOR CONSTRUCTION

REV. DESC. DATE:

DATE: 8/30/2024
PROJECT #: 23040
SHEET #:
C0-0

Project Team:
Print Date: 5/3/2024 11:02:01 AM



0' 10' 20' 30'

HORIZONTAL SCALE: 1" = 10'

LEGEND AND ABBREVIATIONS

EXISTING:

- WIRE FENCE
- CHAIN LINK FENCE
- STEEL FENCE
- WOOD SPLIT RAIL FENCE
- CONCRETE

- DEMOLITION BOUNDARY
- CHAINLINK FENCELINE

CONSTRUCTION NOTES

(1) REMOVE EXISTING CONCRETE, ASPHALT AND AND OTHER APPURTENCES WITHIN DEMOLITION BOUNDARY UNLESS OTHERWISE NOTED.

ACCEPTANCE BLOCK

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MESA COUNTY JUSTICE CENTER SECOND FLOOR RENOVATION

125 N SPRUCE ST
GRAND JUNCTION, CO 81501

DEMO PLAN

FOR CONSTRUCTION

REV. DESC. DATE:

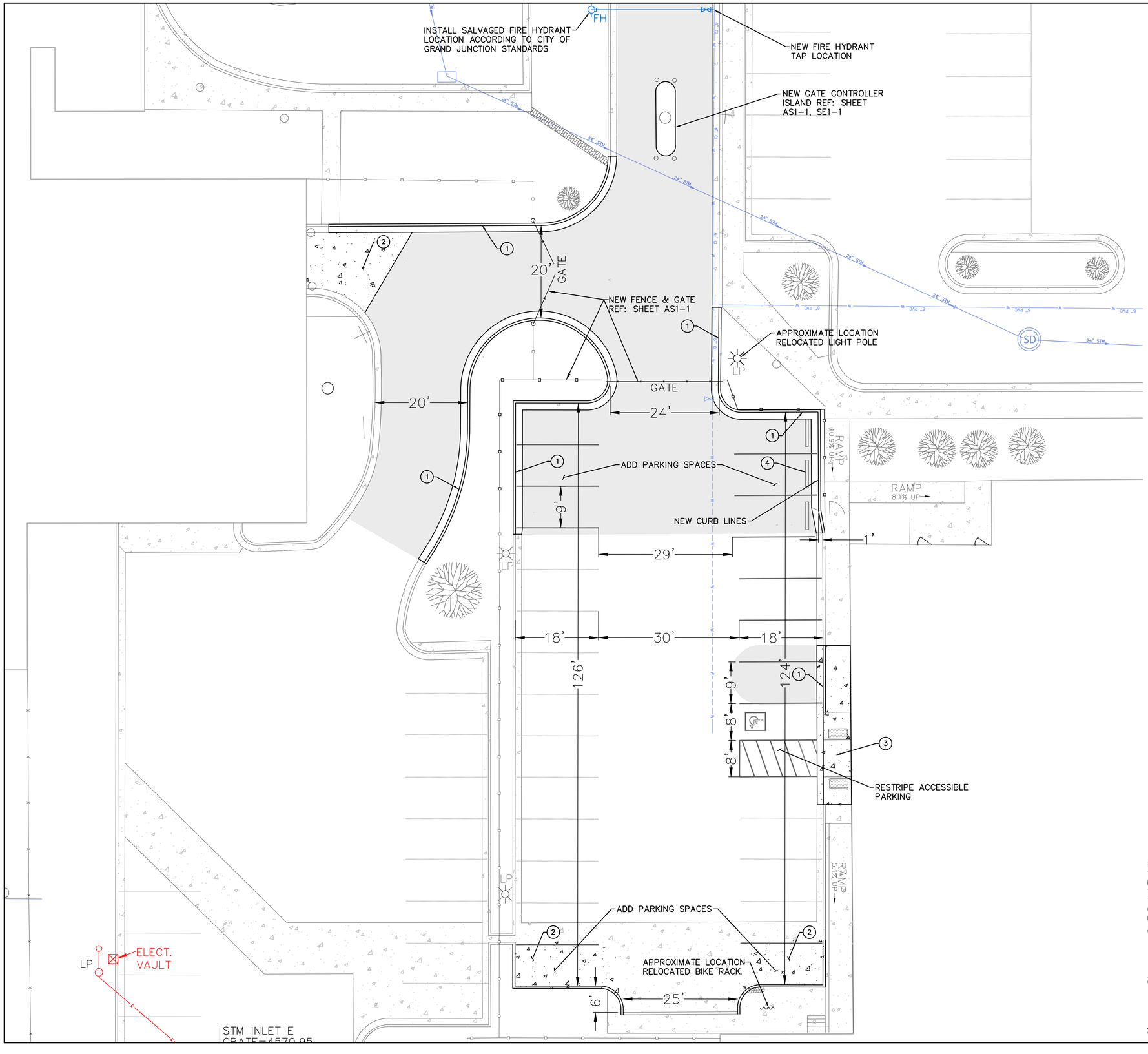
DATE: 8/30/2024

PROJECT #: 23040

SHEET #:

C0-1

Project Team:
Print Date: 5/2/2024 11:02:01 AM



0' 10' 20' 30'

HORIZONTAL SCALE: 1" = 10'

PROPOSED:

- ASPHALT PAVING
- CONCRETE
- FIRE HYDRANT
- WOOD FENCE

EXISTING:

- WOOD FENCE
- CONCRETE
- LIGHT POLE

CONSTRUCTION NOTES

1. CONSTRUCT 2' WIDE CURB & GUTTER. SEE DETAIL SHEET C2-2.
2. CONSTRUCT CONCRETE PAVEMENT SEE DETAIL SHEET C2-2.
3. CONSTRUCT NEW ADA RAMPS WITH SIGNAGE AND PAVEMENT MARKINGS ACCORDING TO CITY OF GRAND JUNCTION STANDARD DETAIL C-24. SIGN TO BE MOUNTED ON BUILDING
4. INSTALL AE 6' SOLID PRECAST PARKING BUMPER OR APPROVED EQUIVALENT, LOCATIONS AS SHOWN ON PLAN WWW.AEPRECAST.COM

ACCEPTANCE BLOCK

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MESA COUNTY JUSTICE CENTER SECOND FLOOR RENOVATION

125 N SPRUCE ST
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SITE PLAN

FOR CONSTRUCTION

REV. DESC. DATE:

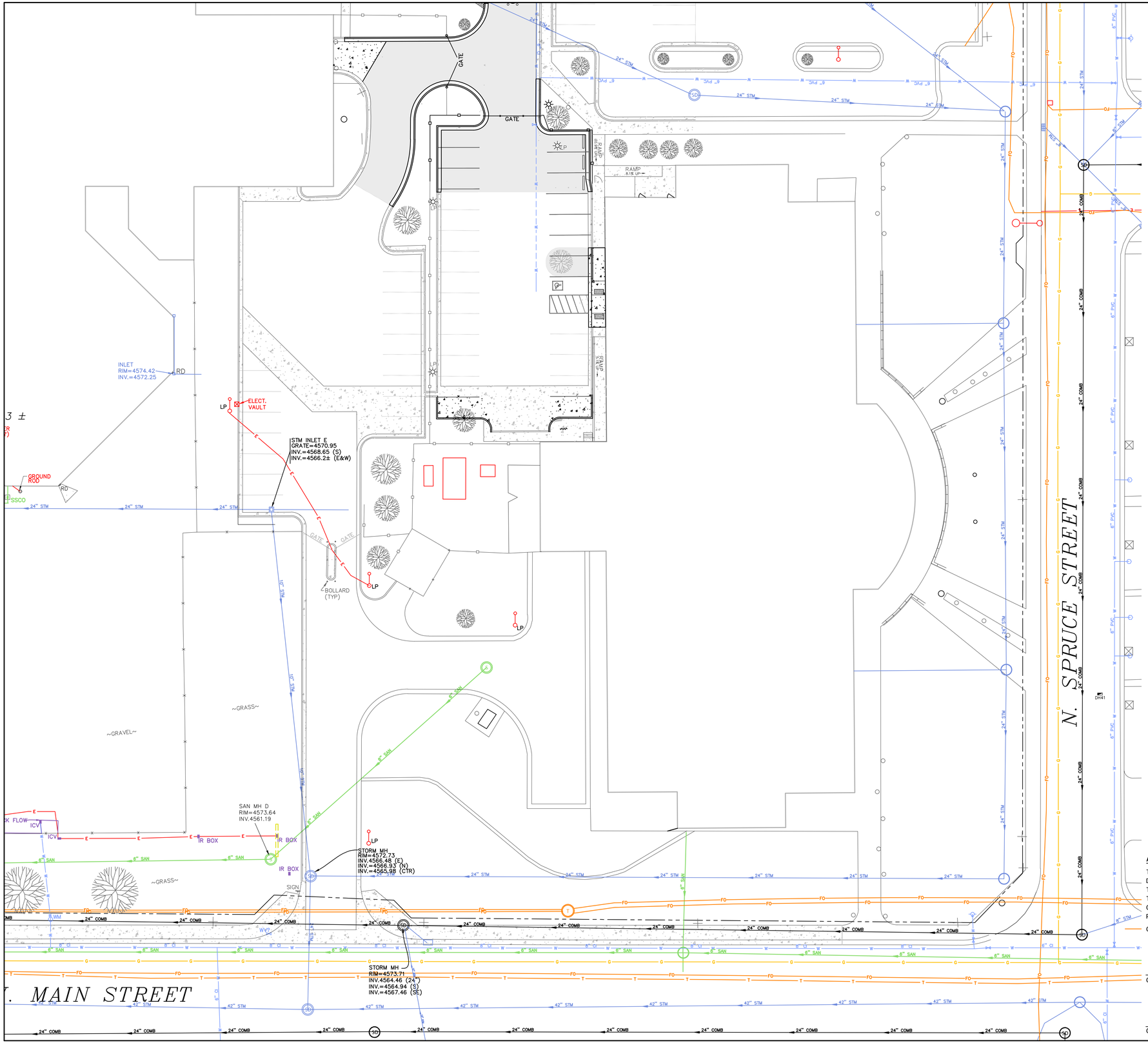
DATE: 8/30/2024

PROJECT #: 23040

SHEET #:

C1-0

Project Team:
Print Date: 5/3/2024 11:02:01 AM



0' 20' 40' 60'

HORIZONTAL SCALE: 1" = 20'

ACCEPTANCE BLOCK

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MESA COUNTY JUSTICE CENTER SECOND FLOOR RENOVATION

125 N SPRUCE ST GRAND JUNCTION, CO 81501

OVERALL SITE PLAN

FOR CONSTRUCTION

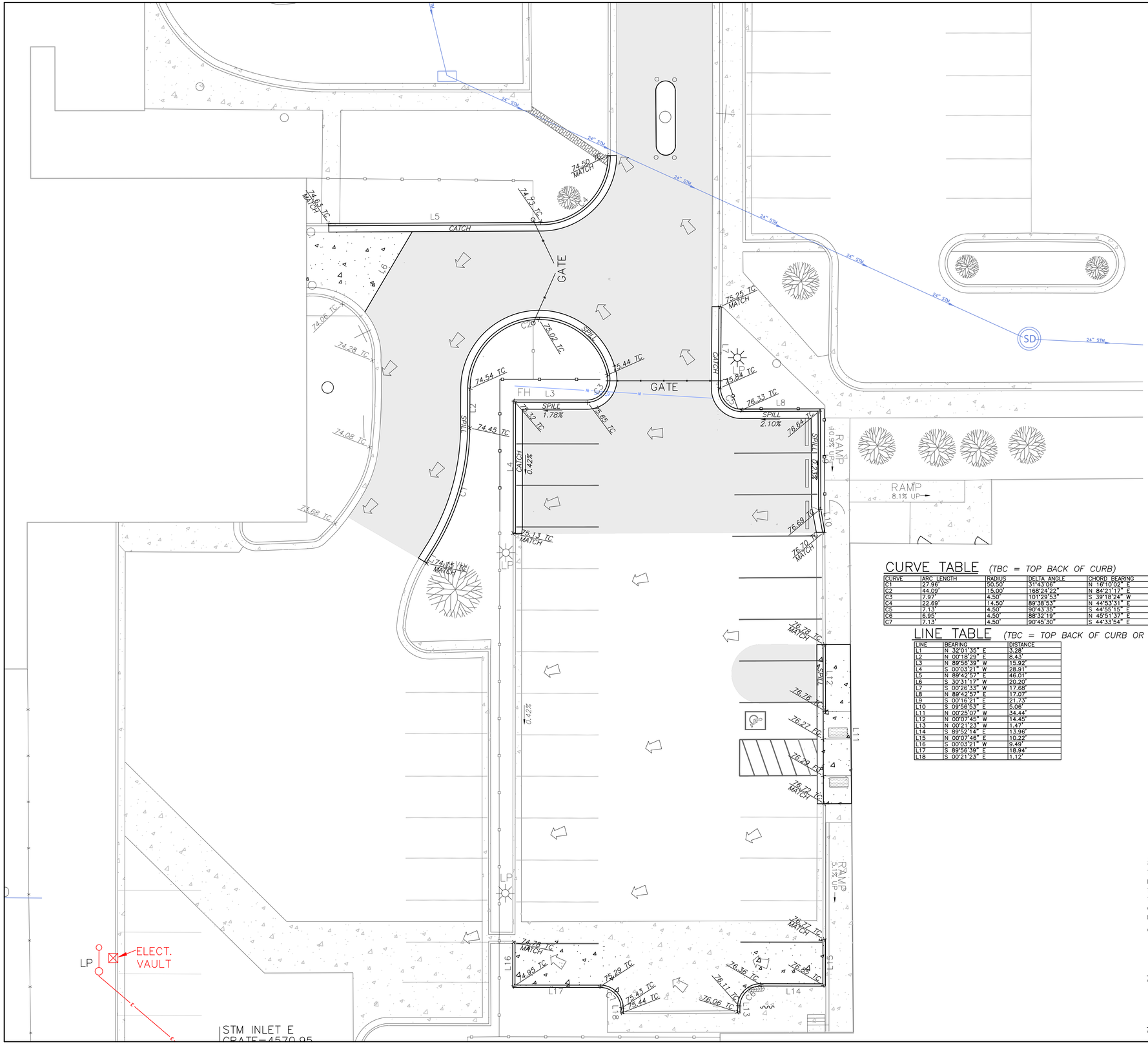
REV. DESC. DATE:

DATE: 8/30/2024

PROJECT #: 23040

SHEET #:

C1-1



LEGEND / ABBREVIATIONS:

	FLOW DIRECTION
96.9 FG	FINISH GRADE
94.2 GB	GRADE BREAK
95.4 TC	TOP OF CURB
94.6 FL	FLOWLINE
90.8 eg	EXISTING GRADE

CURVE TABLE (TBC = TOP BACK OF CURB)

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	27.96'	50.50'	31°43'06"	N 16°10'02" E	27.60'
C2	44.09'	15.00'	168°24'22"	N 84°21'17" E	29.85'
C3	7.97'	4.50'	101°29'53"	S 39°18'24" W	6.97'
C4	22.69'	14.50'	89°38'53"	N 44°53'31" E	20.44'
C5	7.13'	4.50'	90°43'35"	S 44°55'15" E	6.40'
C6	6.95'	4.50'	88°32'19"	N 45°51'57" E	6.28'
C7	7.13'	4.50'	90°45'30"	S 44°33'54" E	6.41'

LINE TABLE (TBC = TOP BACK OF CURB OR WALK)

LINE	BEARING	DISTANCE
L1	N 32°01'35" E	3.28'
L2	N 00°18'29" E	8.43'
L3	N 89°56'39" W	15.92'
L4	S 00°03'21" W	28.91'
L5	N 89°42'57" E	46.01'
L6	S 30°31'17" W	20.20'
L7	S 00°26'33" W	17.68'
L8	N 89°42'57" E	17.07'
L9	S 00°16'21" E	21.73'
L10	S 09°56'53" E	5.06'
L11	N 00°25'07" W	34.44'
L12	N 00°07'45" W	14.45'
L13	N 00°21'23" W	1.47'
L14	S 89°52'14" E	13.98'
L15	N 00°07'46" E	10.22'
L16	S 00°03'21" W	9.49'
L17	S 89°56'39" E	18.94'
L18	S 00°21'23" E	1.12'

ACCEPTANCE BLOCK

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CITY DEVELOPMENT ENGINEER DATE

CITY PLANNER DATE

Project Team:

Print Date: 5/3/2024 11:02:01 AM

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MESA COUNTY JUSTICE CENTER SECOND FLOOR RENOVATION

125 N SPRUCE ST
GRAND JUNCTION, CO 81501

HORIZONTAL AND VERTICAL CONTROL PLAN

FOR CONSTRUCTION

REGISTERED PROFESSIONAL ENGINEER
RICHARD REES
STATE OF COLORADO
31748

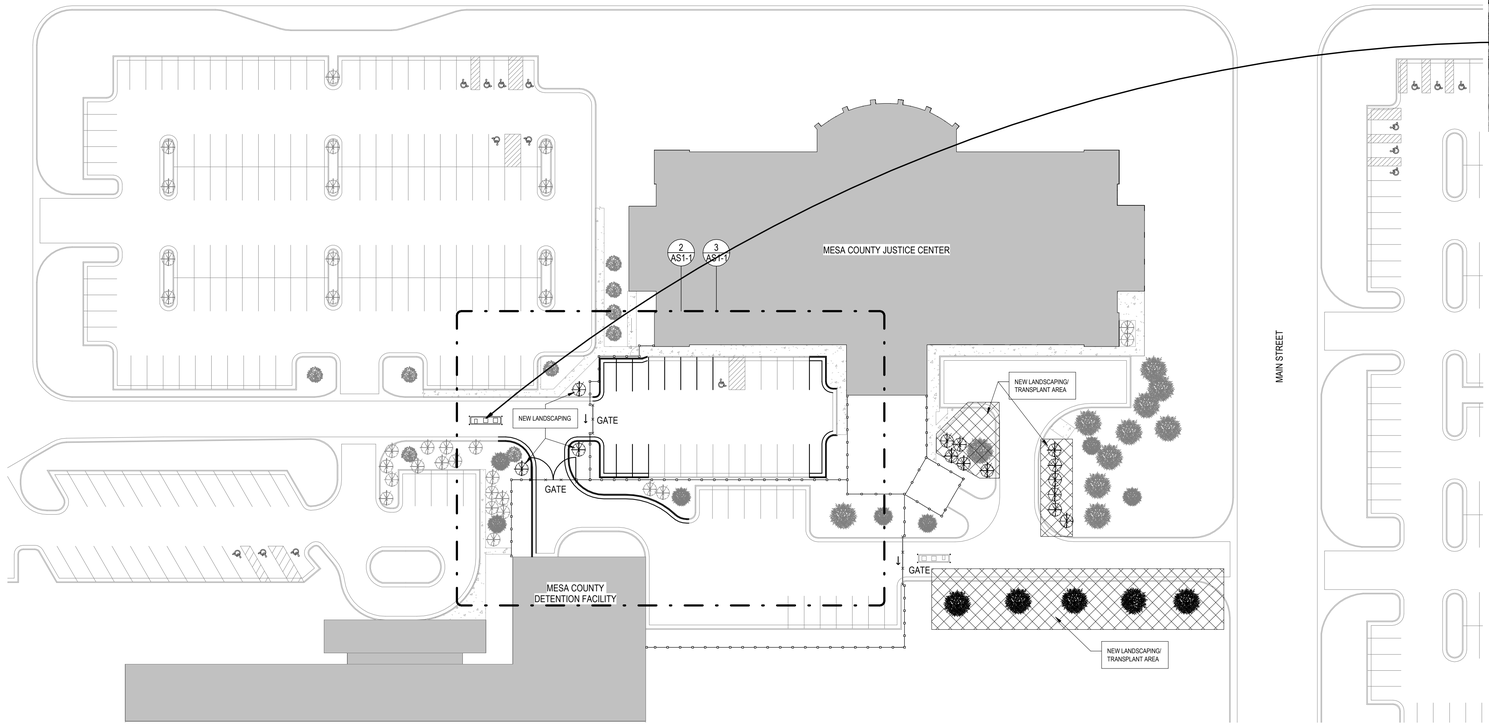
REV. DESC. DATE:

DATE: 8/30/2024

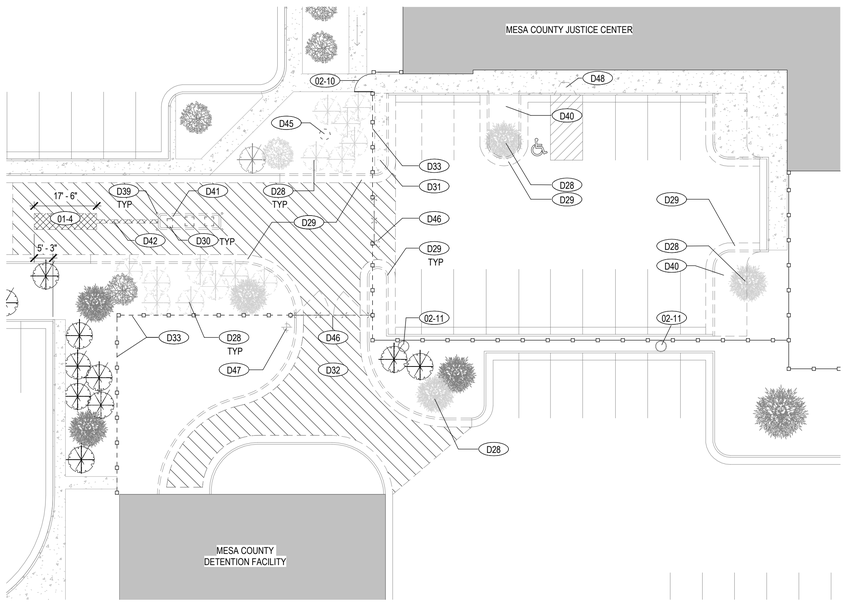
PROJECT #: 23040

SHEET #:

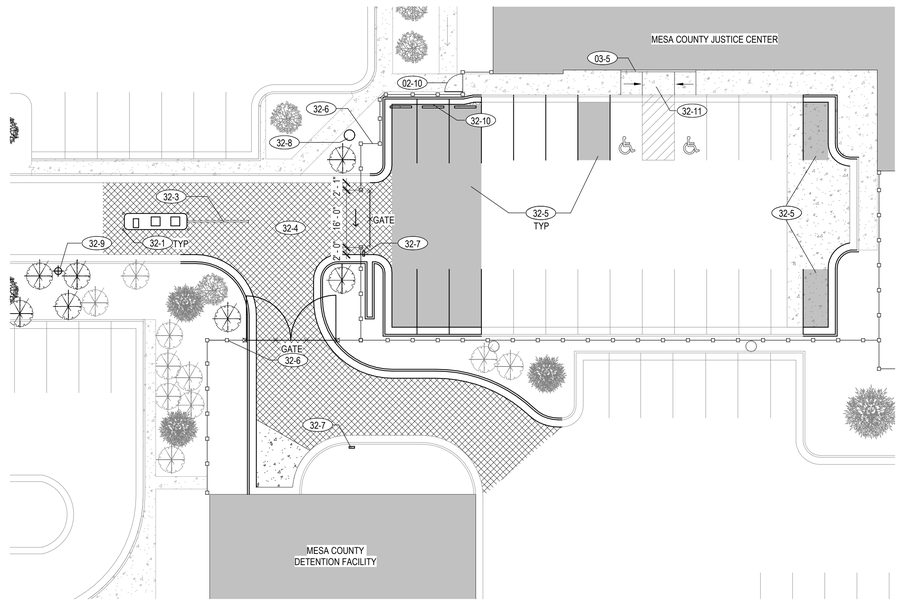
C1-2



1 AS1-1 OVERALL SITE PLAN [ALTERNATE 4]
NORTH 1" = 40'-0"



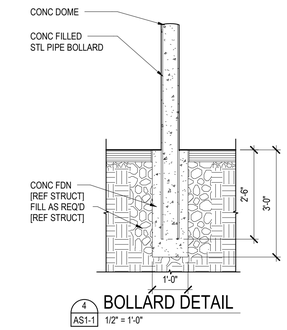
2 AS1-1 ENLARGED DEMO SITE PLAN [ALTERNATE 4]
NORTH 1" = 20'-0"



3 AS1-1 ENLARGED SITE PLAN [ALTERNATE 4]
NORTH 1" = 20'-0"

KEYNOTE LEGEND

01-4	AREA OF NEW VEHICLE ACCESS CONTROL ISLAND
02-10	EXISTING GATE TO REMAIN
02-11	EXISTING LAMP POLE TO REMAIN
03-5	CONCRETE CURB AGAINST BUILDING
32-1	NEW BOLLARD
32-3	EXTEND EXIST VEHICLE ACCESS CONTROL CONDUIT TO NEW TERMINAL LOCATION, VIF NUMBER AND SIZE OF CONDUITS NEEDED
32-4	PATCH ASPHALT
32-5	NEW PARKING STALLS, PAINT NEW LINES [REF CIVIL]
32-6	NEW FENCING TO MATCH EXISTING
32-7	REINSTALL SALVAGED GATE AND GATE OPERATOR. EXTEND CONDUITS TO NEW GATE OPERATOR LOCATION, VIF NUMBER AND SIZE OF CONDUITS NEEDED
32-8	RELOCATED SALVAGED LIGHT POLE [REF CIVIL]
32-9	RELOCATED SALVAGED FIRE HYDRANT [REF CIVIL]
32-10	NEW PARKING BLOCKS [REF CIVIL]
32-11	MODIFY EXIST CURB RAMP [REF CIVIL]
D28	REMOVE EXIST LANDSCAPING
D29	REMOVE PORTION OF EXIST CURB AND GUTTER TO EXTENTS SHOWN. COORDINATE EXTENTS W/ RECONSTRUCTION DWGS
D30	REMOVE AND SALVAGE EXIST VEHICLE ACCESS CONTROL TERMINAL/SYSTEM FOR REINSTALLATION
D31	REMOVE PORTION OF CONCRETE TO EXTENTS SHOWN. COORDINATE EXTENTS W/ RECONSTRUCTION DWGS
D32	REMOVE PORTION OF ASPHALT TO EXTENTS SHOWN. COORDINATE EXTENTS W/ RECONSTRUCTION DWGS
D33	REMOVE EXIST FENCING AND POSTS WHERE INDICATED
D39	REMOVE EXIST BOLLARDS
D40	REMOVE PORTION OF XERISCAPE TO EXTENTS SHOWN. COORDINATE EXTENTS W/ RECONSTRUCTION DWGS
D41	REMOVE EXIST CONCRETE AND CURB
D42	TRENCH AREA TO EXTENTS SHOWN FOR VEHICLE ACCESS CONTROL CONDUIT. COORDINATE EXTENTS W/ RECONSTRUCTION DWGS
D45	REMOVE AND SALVAGE EXIST LIGHT POLE FOR RELOCATION
D46	REMOVE EXIST GATE, SALVAGE EXIST GATE AND GATE OPERATOR FOR RELOCATION
D47	REMOVE AND SALVAGE EXIST FIRE HYDRANT FOR RELOCATION
D48	MODIFY EXIST CURB RAMP [REF CIVIL]



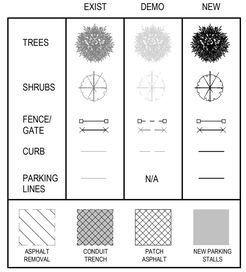
4 AS1-1 BOLLARD DETAIL 1/2" = 1'-0"

NOTE: LANDSCAPING AND IRRIGATION TO BE DESIGN BUILD SCOPE BY GENERAL CONTRACTOR.

REMOVED TREES: 5
REPLACED TREES: 5 (PINYON PINE)
REMOVED SHRUBS: 14
REPLACED SHRUBS: 14 (4 CATMINT, 2 ALPINE CURRANT, 4 FERNBUSH, 4 LEADPLANT)

FINAL PLANT SELECTIONS TO BE BY LANDSCAPER AND APPROVED BY OWNER. ALL PLANTS TO BE ON THE APPROVED PLANT LIST FROM CITY OF GRAND JUNCTION.

EXIST, DEMO, NEW LEGEND



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MESA COUNTY JUSTICE CENTER SECOND FLOOR RENOVATION

125 N SPRUCE ST GRAND JUNCTION, CO 81501

ARCHITECTURAL SITE PLAN

FOR CONSTRUCTION

REV. DESC. DATE:

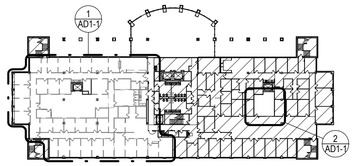
DATE: 08/30/2024

PROJECT #: 23040

SHEET #:

AS1-1

Project Team:
Print Date: 8/30/2024 10:14:42 AM



KEY PLAN

LEGEND

EXIST WALL

DEMOLISHED WALL

EXIST DOOR

DEMOLISHED DOOR

NO ARCHITECTURAL RENOVATION WORK

EXIST TO REMAIN

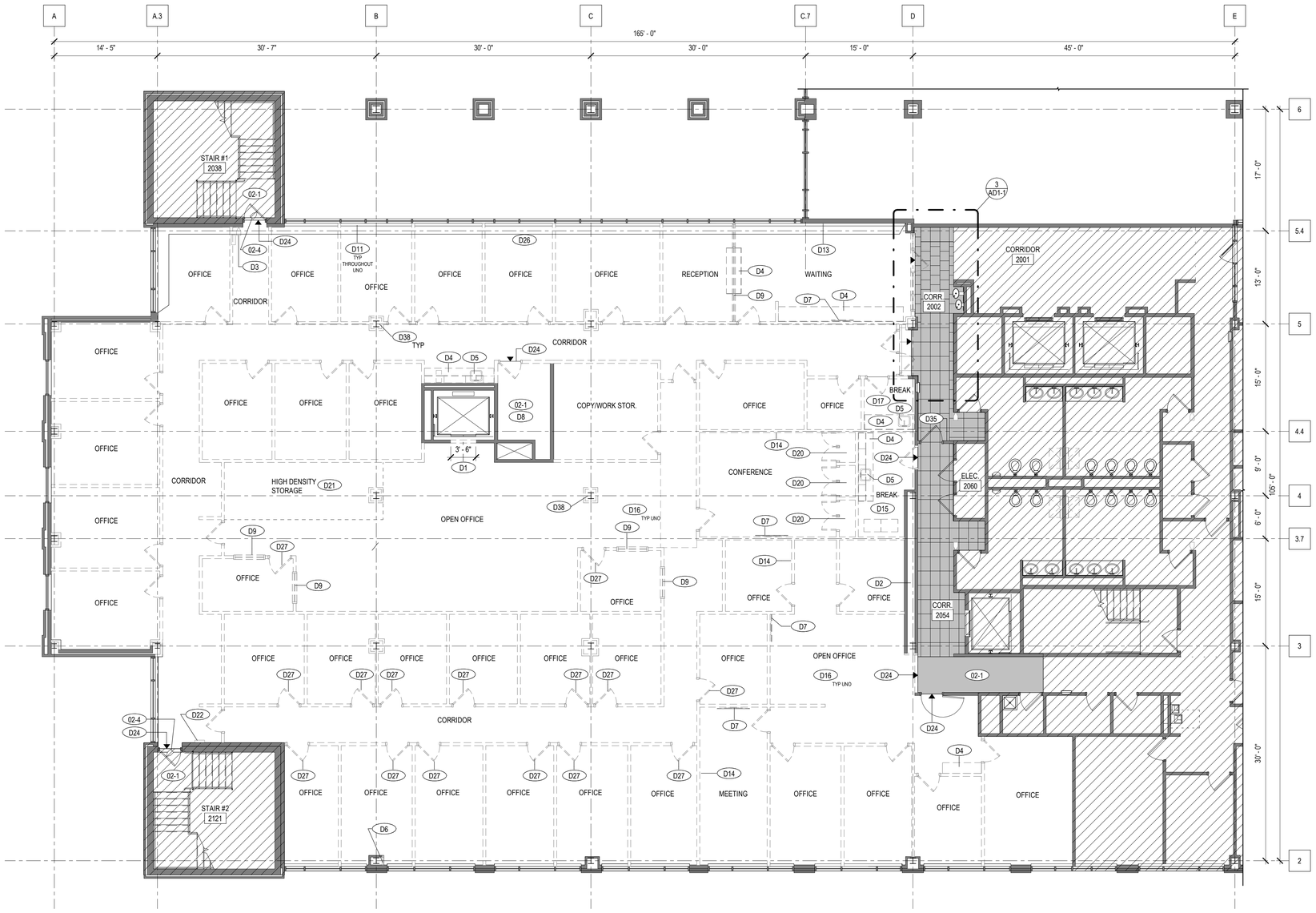
GENERAL NOTES

1. DO NOT DEMOLISH ITEMS CALLED OUT TO REMAIN OR SHOWN IN AREAS OF NO RENOVATION WORK.
2. PATCH AND REPAIR ANY DAMAGE CAUSED BY DEMOLITION OR CONSTRUCTION.
3. SALVAGE THE FOLLOWING ITEMS AND COORDINATE WITH OWNER FOR STORAGE OR DISPOSAL: MARBLE BASE, CARD READERS, DOOR HARDWARE, FIRE ALARM STROBES, FIRE ALARM PULL STATIONS, ROOM SIGNAGE, PAPER TOWEL DISPENSERS, SOAP DISPENSERS, FIRE EXTINGUISHERS AND CABINETS.
4. REMOVE ALL ELECTRICAL BACK TO SOURCE. BLANK PLATES NOT ALLOWED.

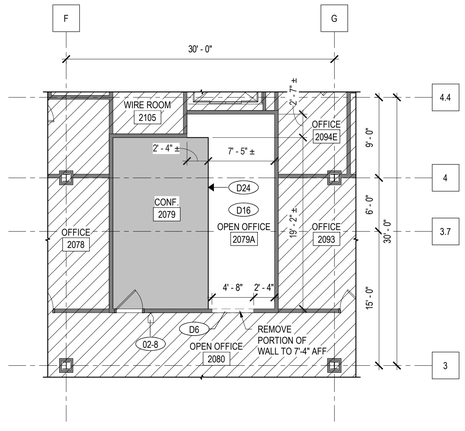
KEYNOTE LEGEND	
02-1	EXISTING FLOORING FINISH TO REMAIN – PROTECT DURING DEMOLITION AND CONSTRUCTION
02-2	EXISTING FEC TO REMAIN
02-3	EXISTING DRINKING FOUNATIN TO REMAIN
02-4	EXISTING DOOR SIGNAGE TO REMAIN
02-8	EXISTING WALL SIGNAGE TO REMAIN
02-9	EXISTING WALL FINISHES TO REMAIN
D1	REMOVE PORTION OF WALL FOR NEW ELEVATOR STOP. COORDINATE FINAL DIMENSIONS WITH ELEVATOR DOOR LOCATION.
D2	FIRE DAMPER TO BE REMOVED [REF MECH]
D3	REMOVE AND SALVAGE WALL SIGN FOR REINSTALLATION
D4	REMOVE EXISTING CASEWORK
D5	REMOVE EXISTING PLUMBING FIXTURE AND CAP PLUMBING [REF PLUMBING]
D6	REMOVE PORTION OF STUD WALL AS INDICATED
D7	REMOVE AND SALVAGE EXISTING DIGITAL DISPLAY. RETURN TO OWNER
D8	REMOVE OBSOLETE ITEMS IN THIS ROOM - COORDINATE WITH OWNER
D9	REMOVE EXIST WINDOW
D11	REMOVE EXISTING SOLID SURFACE SILL
D12	REMOVE HM FRAMES, WINDOWS, AND DOORS

KEYNOTE LEGEND	
D13	REMOVE EXISTING WALL COVERING UNDER WINDOW SILL. PREPARE WALL FOR NEW FINISHES
D14	REMOVE AND SALVAGE EXISTING MARKERBOARD. RETURN TO OWNER
D15	REMOVE VCT FLOOR FINISH AND RUBBER BASE AND PREPARE REMAINING SUBSTRATE TO RECEIVE NEW FINISHES - COORDINATE W/ RECONSTRUCTION DWGS
D16	REMOVE CARPET FLOOR FINISHES AND RUBBER BASE - PREPARE REMAINING SUBSTRATE TO RECEIVE NEW FINISHES - COORDINATE W/ RECONSTRUCTION DWGS. SALVAGE CARPET TILES IN GOOD CONDITION FOR OWNER ATTIC STOCK
D17	REMOVE EXIST TILE FLOOR FINISH IN AREA SHOWN. PREPARE REMAINING SUBSTRATE TO RECEIVE NEW FINISHES.
D20	REMOVE ADJUSTABLE SHELVING
D21	REMOVE HIGH DENSITY STORAGE AND RELATED EQUIPMENT. INFILL SLAB RECESS WITH CAST UNDERLAYMENT. PREPARE SURFACE FOR NEW FINISHES
D22	REMOVE AND SALVAGE EXIST FIRE EXTINGUISHER AND CABINET FOR REINSTALLATION
D24	LIMIT OF FINISH DEMOLITION
D26	REMOVE EXIST GWB WHERE NEW TILE WAINSCOT IS TO BE INSTALLED TO ALLOW FOR INSTALLATION OF TILE BACKER BOARD

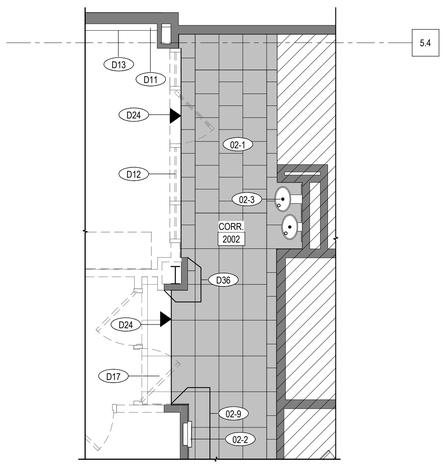
KEYNOTE LEGEND	
D27	SALVAGE EXIST DOOR AND HARDWARE FOR REINSTALLATION [ALTERNATE 5]
D35	REMOVE EXIST AIPHONE AT DOOR
D36	REMOVE EXIST WALL FINISHES. PREP EXIST WALL FOR NEW FINISHES.
D38	PATCH AND REPAIR ANY DAMAGE TO EXISTING SPRAY APPLIED FIREPROOFING AT EXISTING STRUCTURE.



1 AD1-1 DEMOLITION PLAN
NORTH 1/8" = 1'-0"



2 AD1-1 DEMOLITION PLAN
NORTH 1/8" = 1'-0"



3 AD1-1 ENLARGED DEMOLITION PLAN
NORTH 1/4" = 1'-0"

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125 N SPRUCE ST
GRAND JUNCTION, CO 81501

DEMOLITION PLAN

FOR CONSTRUCTION

REV.	DESC.	DATE:

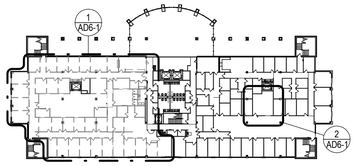
DATE: 08/30/2024

PROJECT #: 23040

SHEET #:

AD1-1

Project Team:
Print Date: 8/30/2024 10:14:32 AM



KEY PLAN

LEGEND

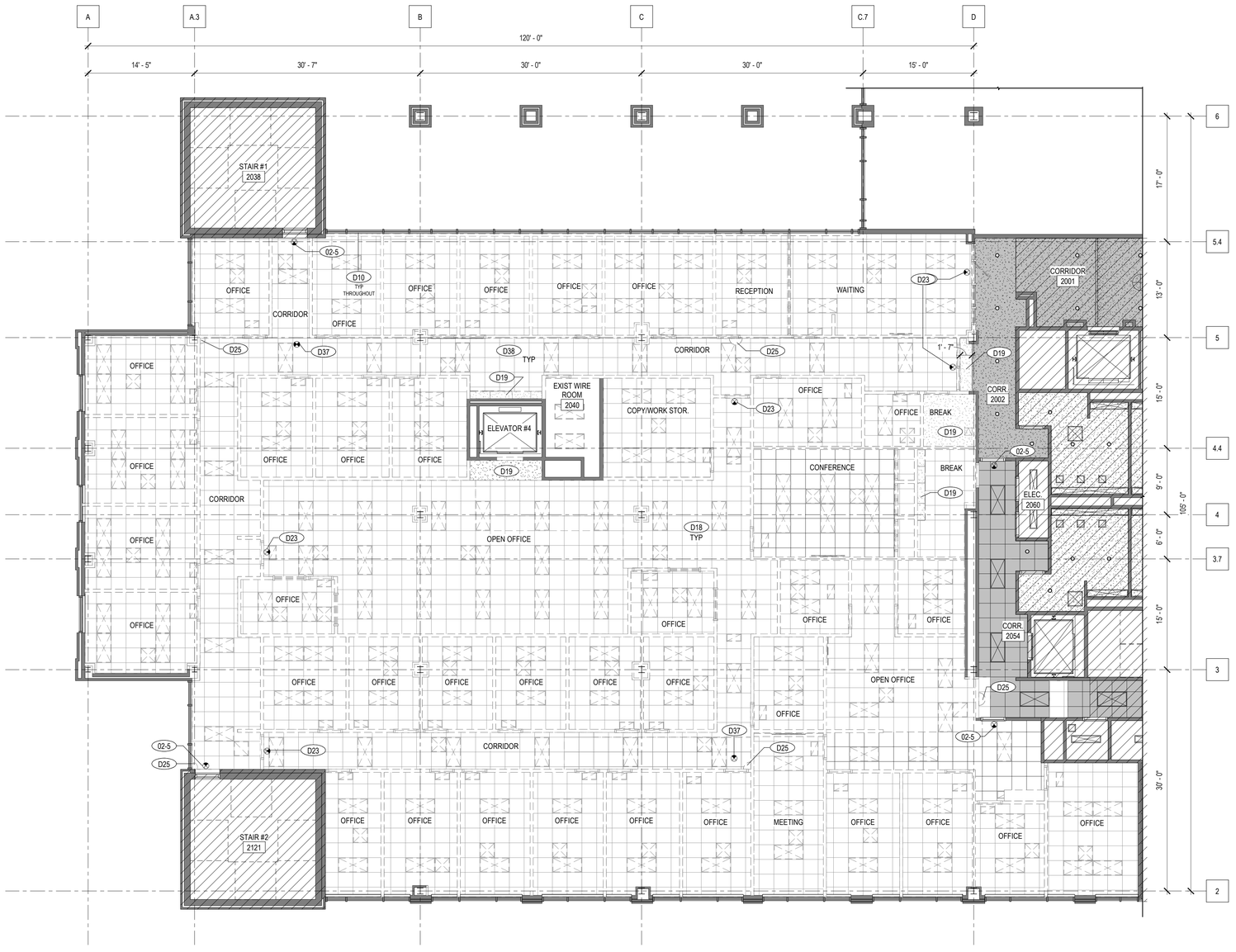
EXIST WALL	REMOVE WALL
EXIST LIGHT FIXTURE TO REMAIN	REMOVE LIGHT FIXTURE
EXIST MECH DIFFUSER TO REMAIN	REMOVE MECHANICAL DIFFUSER
NO ARCHITECTURAL RENOVATION WORK	EXISTING CEILING MATERIAL TO REMAIN

GENERAL NOTES:

1. SALVAGE CEILING ITEMS IN GOOD CONDITION SUCH AS CEILING TILES, CAMERAS, MOTION SENSORS, EXIT SIGNS, MECHANICAL SUPPLY AND RETURN DIFFUSERS. COORDINATE WITH OWNER FOR STORAGE OR DISPOSAL.
2. PROTECT EXISTING FIRE SPRINKLER SYSTEM FOR RECONFIGURATION WORK.

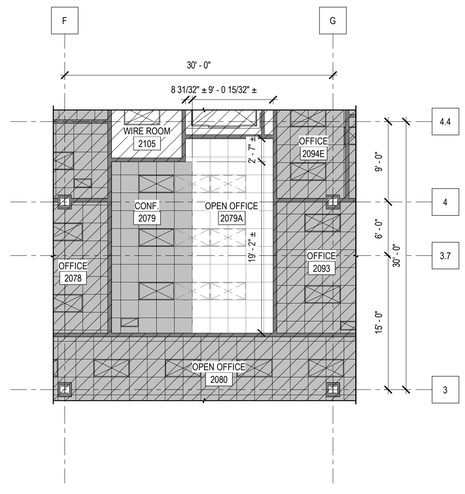
KEYNOTE LEGEND

02-5	EXISTING EXIT SIGN TO REMAIN
D10	REMOVE WINDOW SHADES AND HARDWARE. PATCH ANY HOLES IN EXIST WINDOWS FROM ATTACHMENT. SALVAGE AND PROVIDE SHADES TO OWNER.
D18	REMOVE SUSPENDED CEILING TILES AND GRID
D19	REMOVE GWB CLG IN THIS AREA
D23	REMOVE AND SALVAGE EXIST EXIT SIGN FOR REINSTALLATION
D25	REMOVE AND SALVAGE DOME MIRROR. RETURN TO OWNER.
D37	REMOVE EXIT SIGN
D38	PATCH AND REPAIR ANY DAMAGE TO EXISTING SPRAY APPLIED FIREPROOFING AT EXISTING STRUCTURE.



1 AD6-1 DEMOLITION REFLECTED CEILING PLAN
1/8" = 1'-0"

NORTH



2 AD6-1 DEMOLITION REFLECTED CEILING PLAN
1/8" = 1'-0"

NORTH

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MESA COUNTY JUSTICE CENTER SECOND FLOOR RENOVATION

125 N SPRUCE ST
GRAND JUNCTION, CO 81501

DEMOLITION REFLECTED CEILING PLAN

FOR CONSTRUCTION

REV. DESC. DATE:

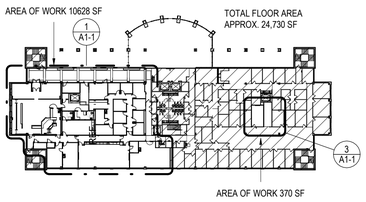
DATE: 08/30/2024

PROJECT #: 23040

SHEET #:

AD6-1

Project Team:
Print Date: 8/30/2024 10:14:35 AM



KEY PLAN

LEGEND

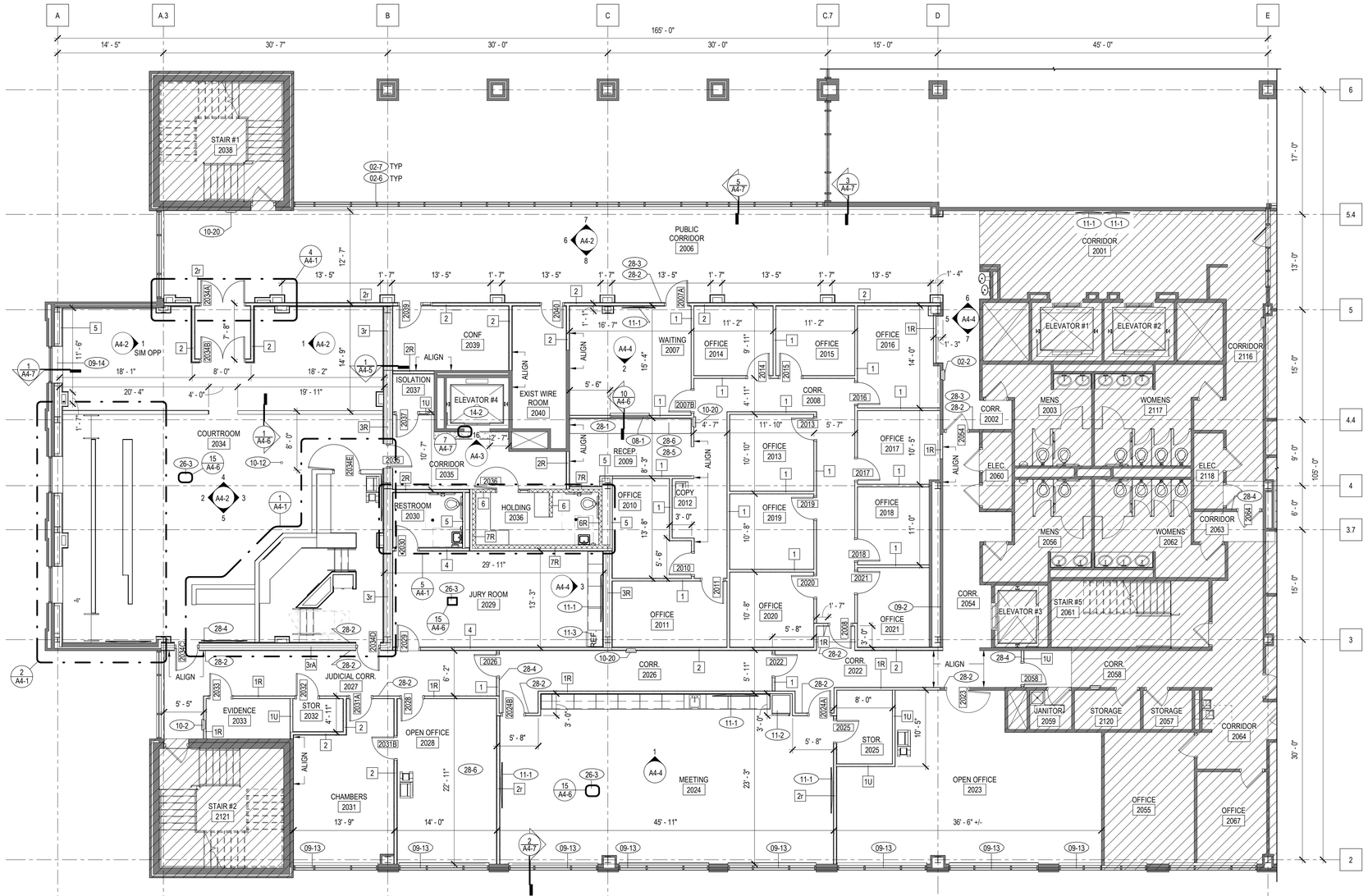
- EXIST WALL
- NEW WALL
- EXIST DOOR
- NEW DOOR
- NO ARCHITECTURAL RENOVATION WORK

GENERAL NOTES

1. INTERIOR DIMENSIONS AT NEW WALLS ARE TO F.O. STUD, UNO.
2. DIMENSIONS TO EXISTING WALLS ARE TO FINISH FACE, UNO.
3. WALL TYPE 5U WALLS ARE NOT TAGGED.

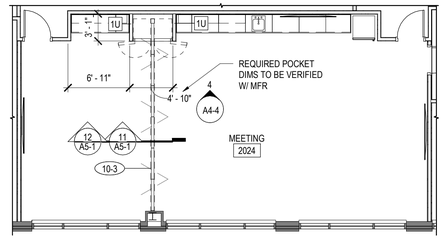
KEYNOTE LEGEND	
02-2	EXISTING FEC TO REMAIN
02-6	WHERE PARTITIONS WERE REMOVED AT EXISTING EXTERIOR WINDOW MULLIONS, CLEAN ANY RESIDUE OFF MULLION AND BRING TO LIKE NEW CONDITION
02-7	WHERE PARTITIONS WERE REMOVED AT EXSITING EXTERIOR WALL, PATCH AND REPAIR EXISTING WALL AND PREP FOR NEW FINISHES
08-1	NEW TRANSACTION WINDOW AND COUNTER
09-2	PATCH AND REPAIR WALL WHERE FIRE DAMPER WAS REMOVED
09-13	NEW SSM WINDOWSILL
09-14	NEW WD TRIM AT SILL, JAMB AND HEAD OF EXIST WINDOWS
10-2	REINSTALL SALVAGED FIRE EXTINGUISHER AND CABINET
10-3	OPERABLE PARTITION [ALTERNATE 2]
10-12	FLOOR MOUNTED SHACKLE. CONFIRM FINAL LOCATION WITH OWNER
10-20	NEW FIRE EXTINGUISHER AND CABINET
11-1	DIGITAL DISPLAY, FBO, PROVIDE POWER, DATA AND AV CONNECTION IF APPLICABLE [REF ELEC]
11-2	REFRIGERATOR FBO, INSTALLED BY CONTRACTOR [REF PLBG & ELEC]
11-3	UNDERCOUNTER REFRIGERATOR FBO, INSTALLED BY CONTRACTOR [REF ELEC]
14-2	NEW STOP TO BE ADDED AT EXISTING ELEVATOR

KEYNOTE LEGEND	
26-3	NEW FIRE RTED FLOOR BOXES [REF ELEC], PROVIDE CONDUIT CONNECTION FROM FLOOR BOXES PER ELECTRICAL DRAWINGS. CONFIRM FINAL LOCATION OF FLOOR BOXES WITH OWNER.
28-1	NEW DURESS BUTTON [REF ELEC AND SECURITY]
28-2	NEW CARD READER [REF ELEC AND SECURITY]
28-3	NEW AUTO DIALER [REF ELEC AND SECURITY]
28-4	NEW CARD READER WITH DELAYED EGRESS [REF ELEC AND SECURITY]
28-5	NEW DOOR REMOTE RELEASE BUTTON [REF ELEC AND SECURITY]
28-6	NEW AUTO DIALER RECEIVER [REF ELEC AND SECURITY]



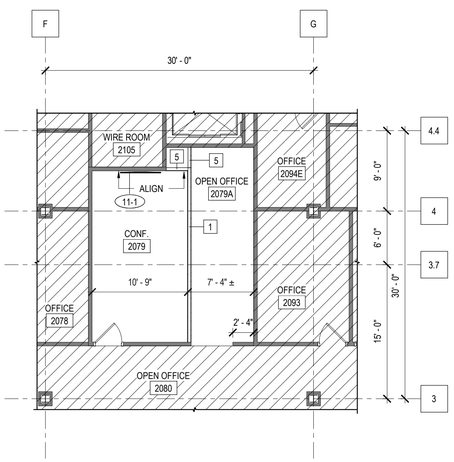
FLOOR PLAN

NORTH 1 A1-1 1/8" = 1'-0"



FLOOR PLAN - ALTERNATE 2

NORTH 2 A1-1 1/8" = 1'-0"



FLOOR PLAN

NORTH 3 A1-1 1/8" = 1'-0"

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MESA COUNTY JUSTICE CENTER SECOND FLOOR RENOVATION

125 N SPRUCE ST GRAND JUNCTION, CO 81501

FLOOR PLAN

FOR CONSTRUCTION

REV.	DESC.	DATE:

DATE: 08/30/2024

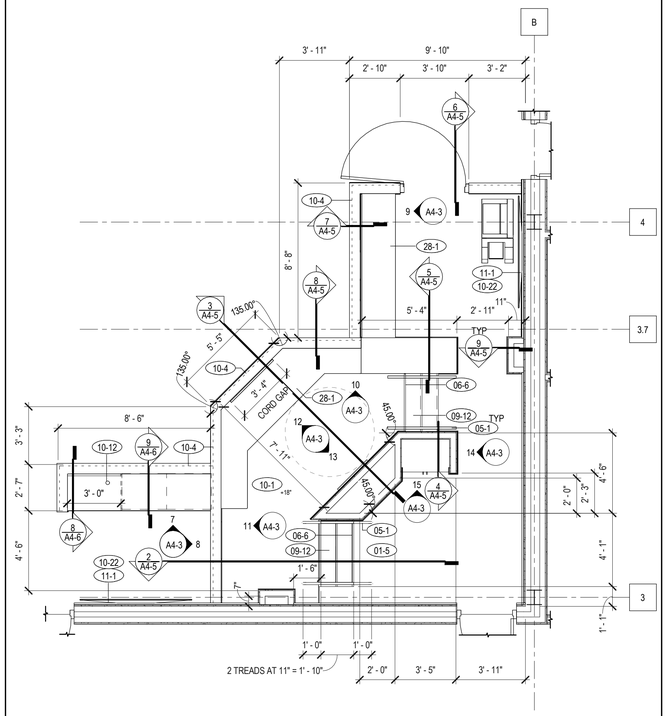
PROJECT #: 23040

SHEET #:

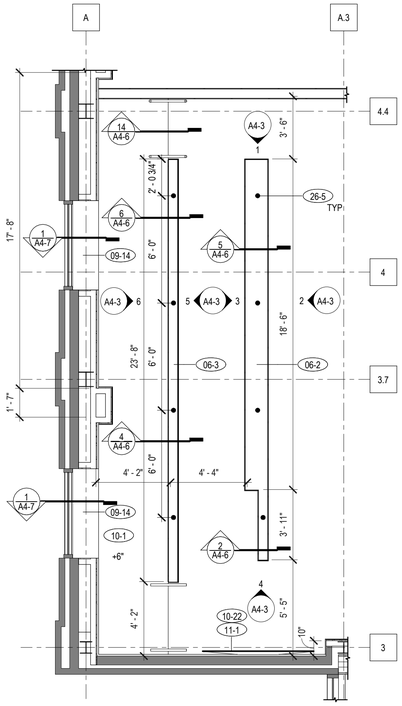
A1-1

Project Team:

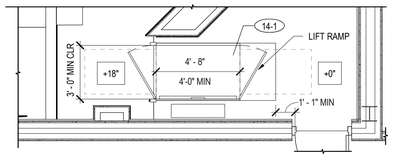
Print Date: 8/30/2024 10:13:58 AM



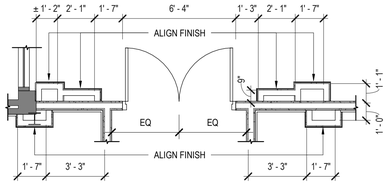
1 A4-1 ENLARGED PLAN
NORTH 1/4" = 1'-0"



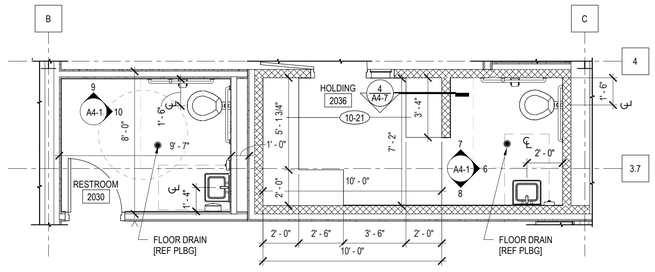
2 A4-1 ENLARGED PLAN
NORTH 1/4" = 1'-0"



3 A4-1 ENLARGED PLAN - ALTERNATE 1
NORTH 1/4" = 1'-0"

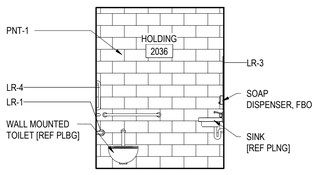


4 A4-1 ENLARGED FLOOR PLAN
NORTH 1/4" = 1'-0"

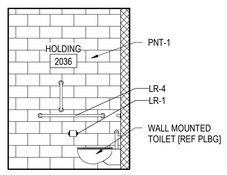


5 A4-1 ENLARGED PLAN
NORTH 1/4" = 1'-0"

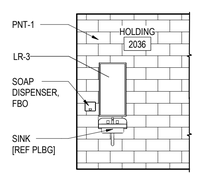
KEYNOTE LEGEND	
01-5	REF TO 3/A4-1 FOR ALTERNATE LIFT OPTION
05-1	STEEL HANDRAIL, PAINT TO MATCH EXISTING HANDRAILS
06-2	36 HIGH MTL STUD WALL
06-3	42 HIGH MTL STUD WALL
06-6	PROVIDE STAIR NOSINGS
09-12	PROVIDE BROADLOOM CARPET AT STAIRS AND OTHER ELEVATION CHANGES
09-14	NEW WD TRIM AT SILL, JAMB AND HEAD OF EXIST WINDOWS
10-1	RAISED FLOORING SYSTEM
10-4	BULLET RESISTANT MATERIAL IN WALL AT JUDGE'S BENCH, CLERK STATION AND WITNESS STAND
10-12	FLOOR MOUNTED SHACKLE. CONFIRM FINAL LOCATION WITH OWNER
10-21	BUILT IN BENCHES
10-22	DIGITAL DISPLAY TO BE RECESSED INTO ACOUSTICAL PANELS
11-1	DIGITAL DISPLAY, FBO, PROVIDE POWER, DATA AND AV CONNECTION IF APPLICABLE [REF ELEC]
14-1	PLATFORM LIFT WITH LANDING CALL SWITCH [ALTERNATE 1]
26-5	MICROPHONE, FBO. PROVIDE CABLING AND OUTLETS AS NEEDED. [REF ELEC]
28-1	NEW DURESS BUTTON [REF ELEC AND SECURITY]



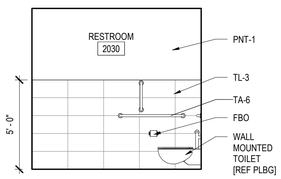
6 A4-1 INTERIOR ELEVATION
1/4" = 1'-0"



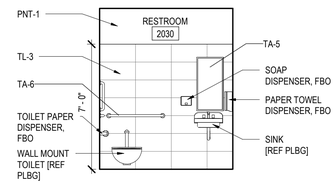
7 A4-1 INTERIOR ELEVATION
1/4" = 1'-0"



8 A4-1 INTERIOR ELEVATION
1/4" = 1'-0"

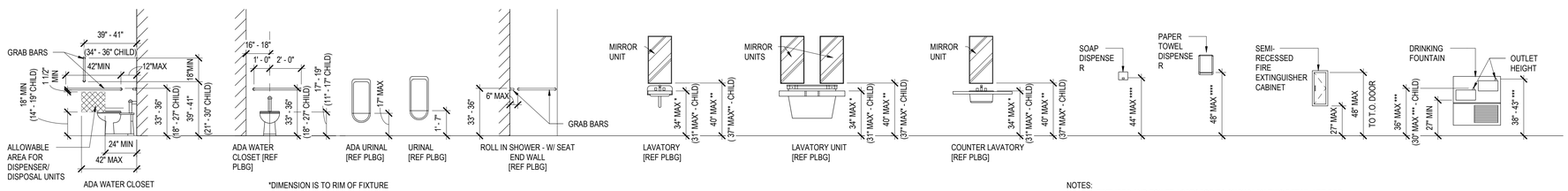


9 A4-1 INTERIOR ELEVATION
1/4" = 1'-0"



10 A4-1 INTERIOR ELEVATION
1/4" = 1'-0"

TYPICAL MOUNTING HEIGHTS



*DIMENSION IS TO RIM OF FIXTURE
** DIMENSION IS TO BOTTOM EDGE OF REFLECTING SURFACE
*** DIMENSION IS TO T.O. SPOUT OUTLET
**** DIMENSION IS TO T.O. OPERABLE PARTS

NOTES:
1. ALL FIXTURES AND TOILET ACCESSORIES SHOWN ON THIS DETAIL ARE FOR REFERENCE OF MOUNTING HEIGHT ONLY.
2. ALL FIXTURES AND ACCESSORIES ARE TO BE MOUNTED AT BARRIER FREE HEIGHTS AS RECOMMENDED BY MANUFACTURER'S SPECIFICATIONS.
3. ALL FIXTURES AND TOILET ACCESSORIES REQUIRED FOR THIS PROJECT MAY NOT APPEAR ON THIS DETAIL.
4. ALL ITEMS SHOWN ON THIS DETAIL MAY NOT BE REQUIRED FOR THIS PROJECT.

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MESA COUNTY JUSTICE CENTER SECOND FLOOR RENOVATION

125 N SPRUCE ST
GRAND JUNCTION, CO 81501

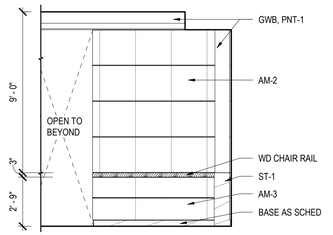
ENLARGED FLOOR PLANS AND INTERIOR ELEVATIONS

FOR CONSTRUCTION

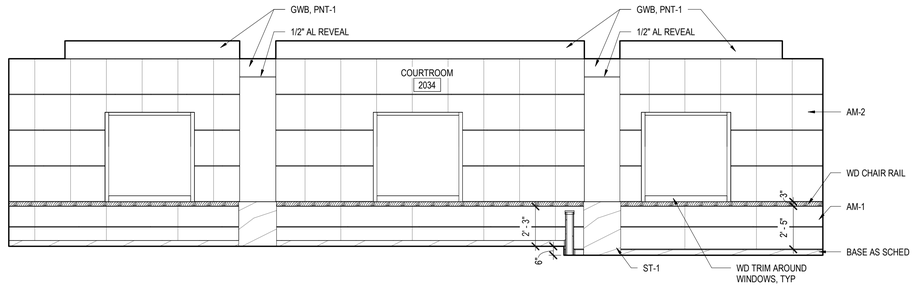
REV. DESC. DATE:

DATE: 08/30/2024
PROJECT #: 23040
SHEET #:
A4-1

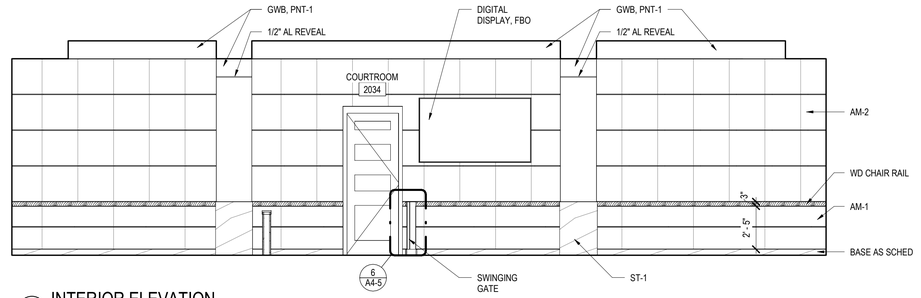
Project Team:
Print Date: 8/30/2024 10:14:01 AM



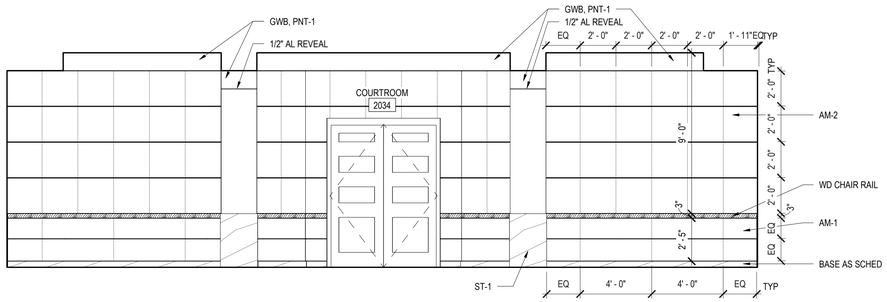
1 A4-2 INTERIOR ELEVATION
1/4" = 1'-0"



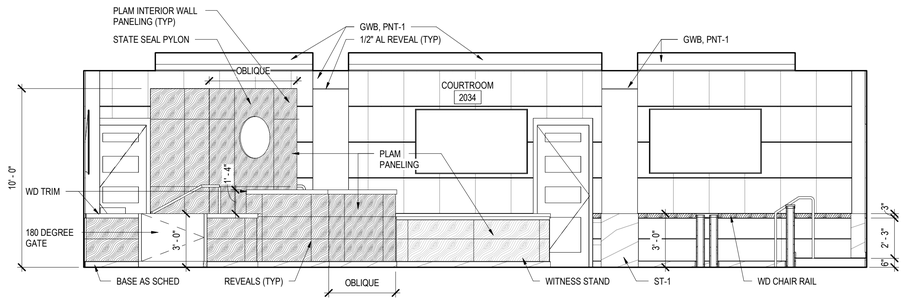
2 A4-2 INTERIOR ELEVATION
1/4" = 1'-0"



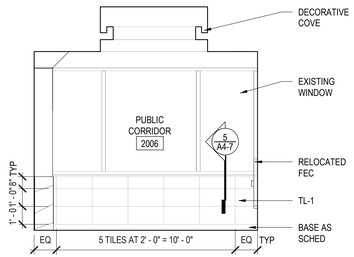
3 A4-2 INTERIOR ELEVATION
1/4" = 1'-0"



4 A4-2 INTERIOR ELEVATION
1/4" = 1'-0"

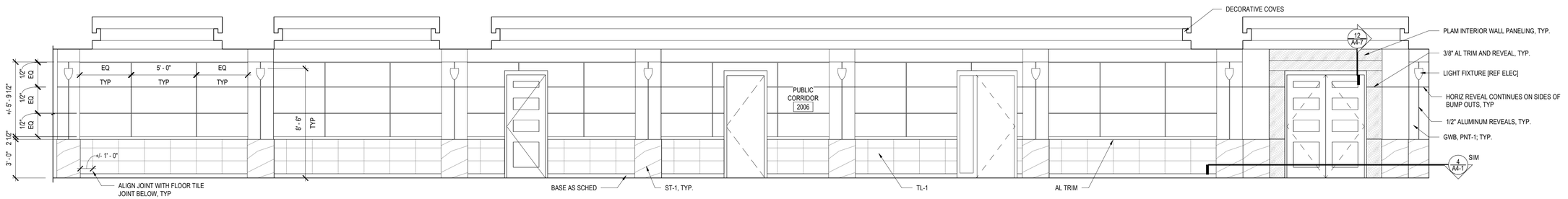


5 A4-2 INTERIOR ELEVATION
1/4" = 1'-0"



6 A4-2 INTERIOR ELEVATION
1/4" = 1'-0"

7 A4-2 INTERIOR ELEVATION
1/4" = 1'-0"



8 A4-2 INTERIOR ELEVATION
1/4" = 1'-0"

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MESA COUNTY JUSTICE CENTER SECOND FLOOR RENOVATION

125 N SPRUCE ST GRAND JUNCTION, CO 81501

INTERIOR ELEVATIONS

FOR CONSTRUCTION

REV. DESC. DATE:

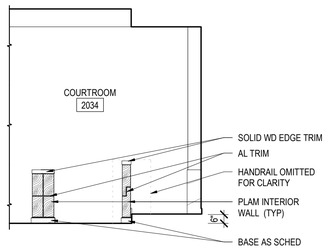
DATE: 08/30/2024

PROJECT #: 23040

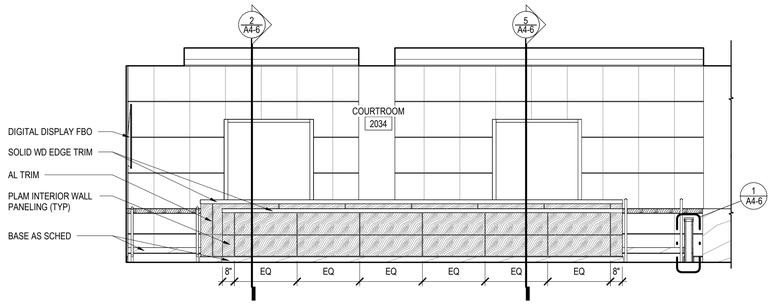
SHEET #:

A4-2

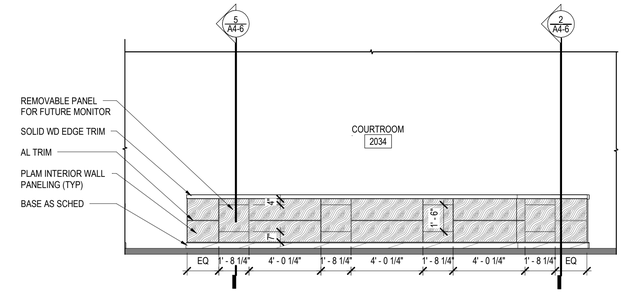
Project Team:
Print Date: 8/30/2024 10:14:03 AM



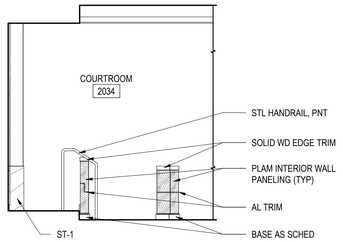
1 A4-3 INTERIOR ELEVATION
1/4" = 1'-0"



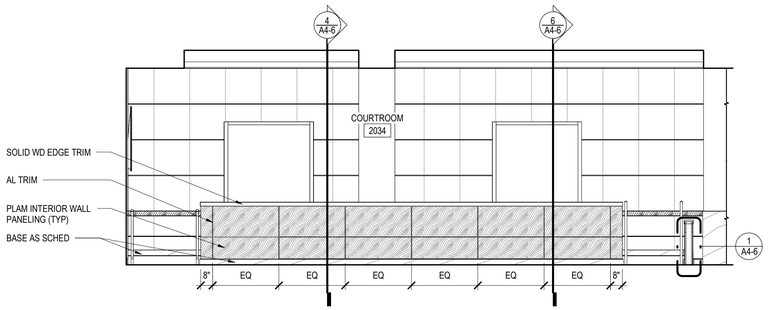
2 A4-3 INTERIOR ELEVATION
1/4" = 1'-0"



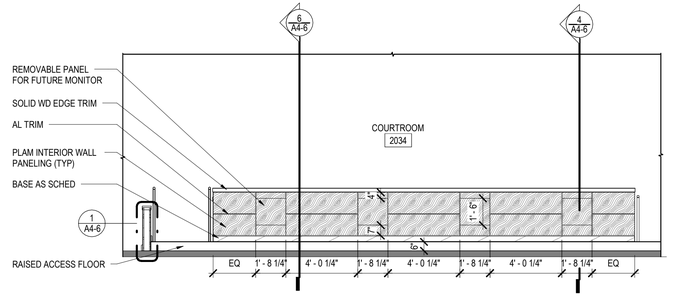
3 A4-3 INTERIOR ELEVATION
1/4" = 1'-0"



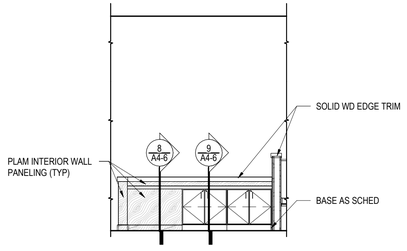
4 A4-3 INTERIOR ELEVATION
1/4" = 1'-0"



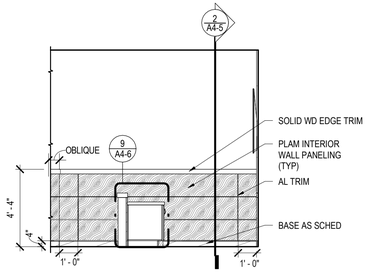
5 A4-3 INTERIOR ELEVATION
1/4" = 1'-0"



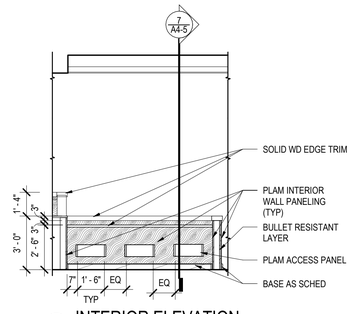
6 A4-3 INTERIOR ELEVATION
1/4" = 1'-0"



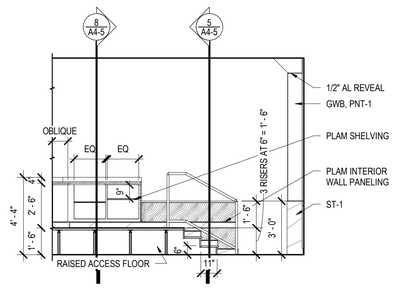
7 A4-3 INTERIOR ELEVATION
1/4" = 1'-0"



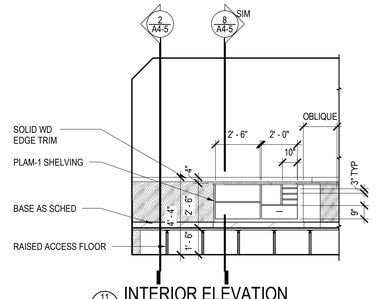
8 A4-3 INTERIOR ELEVATION
1/4" = 1'-0"



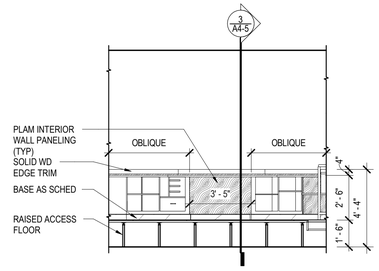
9 A4-3 INTERIOR ELEVATION
1/4" = 1'-0"



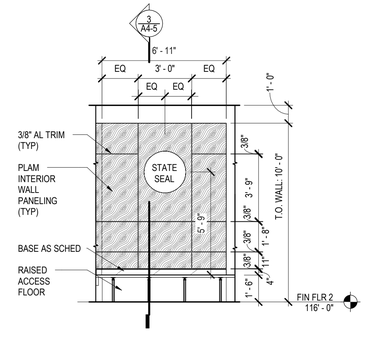
10 A4-3 INTERIOR ELEVATION
1/4" = 1'-0"



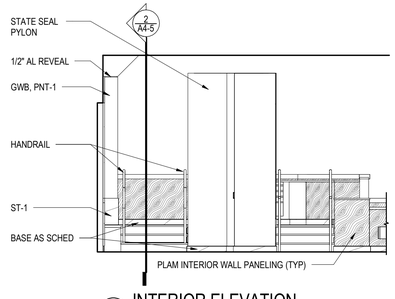
11 A4-3 INTERIOR ELEVATION
1/4" = 1'-0"



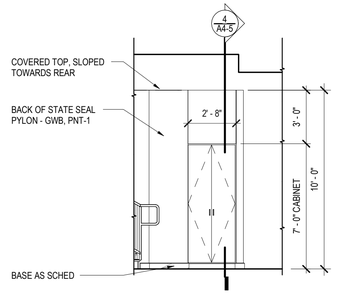
12 A4-3 INTERIOR ELEVATION
1/4" = 1'-0"



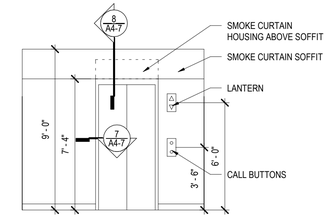
13 A4-3 INTERIOR ELEVATION
1/4" = 1'-0"



14 A4-3 INTERIOR ELEVATION
1/4" = 1'-0"



15 A4-3 INTERIOR ELEVATION
1/4" = 1'-0"



16 A4-3 INTERIOR ELEVATION
1/4" = 1'-0"

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INTERIOR ELEVATIONS

FOR CONSTRUCTION

REV. DESC. DATE:

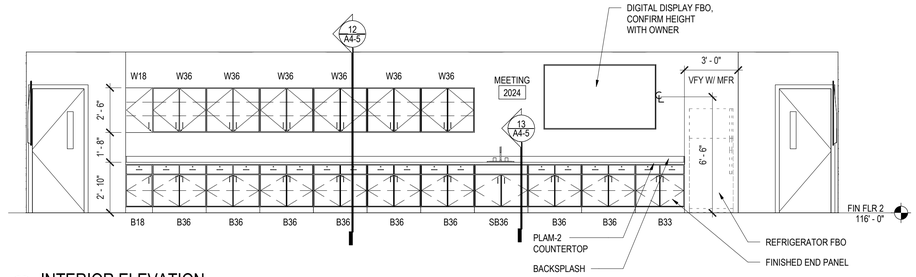
DATE: 08/30/2024

PROJECT #: 23040

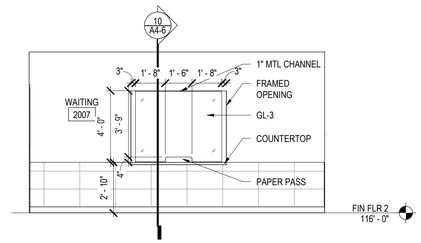
SHEET #:

A4-3

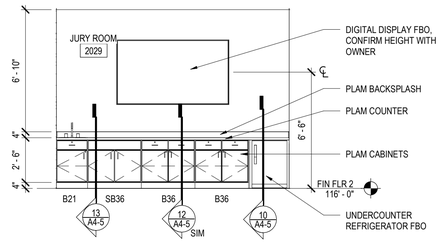
Project Team:
Print Date: 8/30/2024 10:14:06 AM



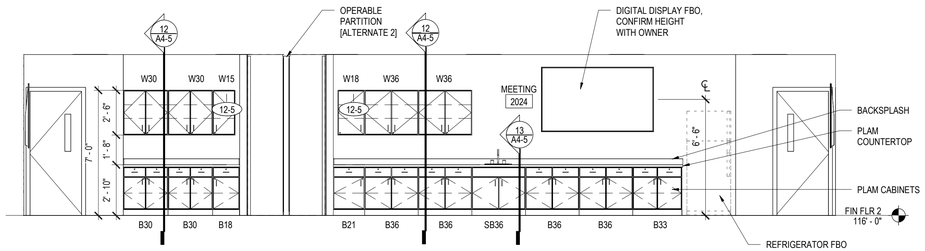
1 A4-4 INTERIOR ELEVATION
1/4" = 1'-0"



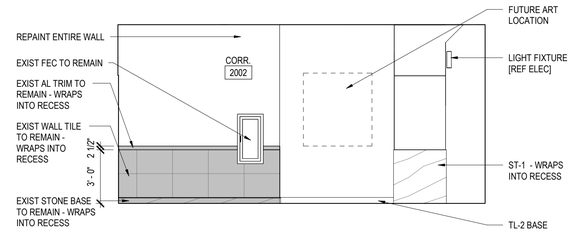
2 A4-4 INTERIOR ELEVATION
1/4" = 1'-0"



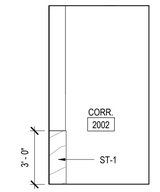
3 A4-4 INTERIOR ELEVATION
1/4" = 1'-0"



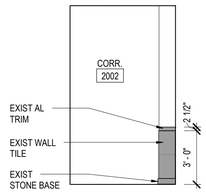
4 A4-4 INTERIOR ELEVATION - ALTERNATE 2
1/4" = 1'-0"



5 A4-4 INTERIOR ELEVATION
1/4" = 1'-0"



6 A4-4 INTERIOR ELEVATION
1/4" = 1'-0"



7 A4-4 INTERIOR ELEVATION
1/4" = 1'-0"

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INTERIOR ELEVATIONS

FOR CONSTRUCTION

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PROJECT #: 23040

SHEET #:

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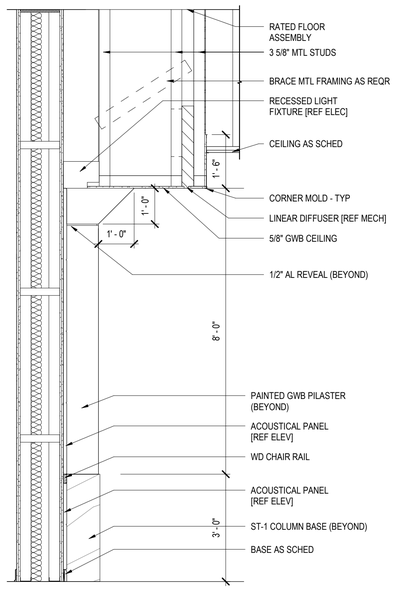
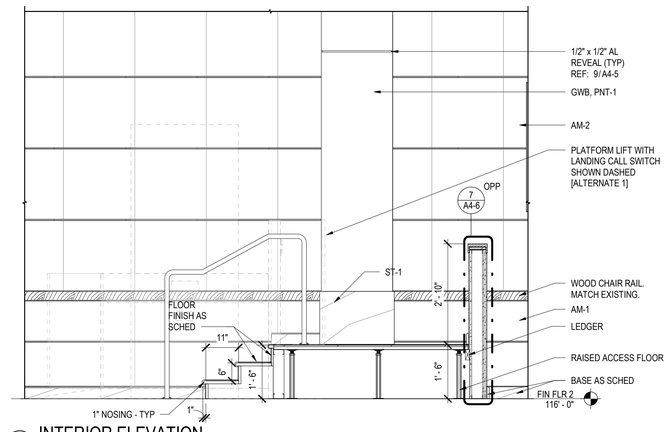
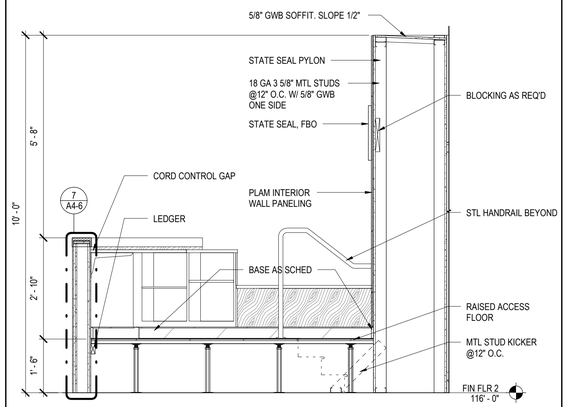


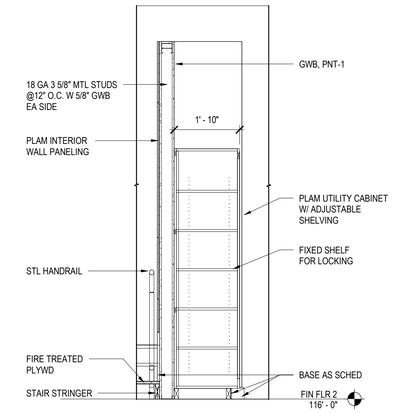
1 A4-5 INTERIOR WALL SECTION
1/2" = 1'-0"



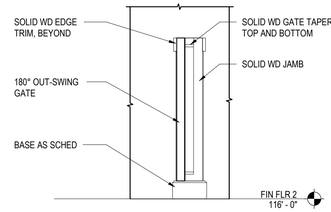
2 A4-5 INTERIOR ELEVATION
1/2" = 1'-0"



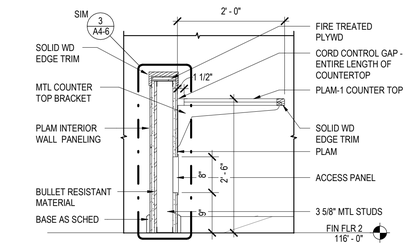
3 A4-5 INTERIOR ELEVATION
1/2" = 1'-0"



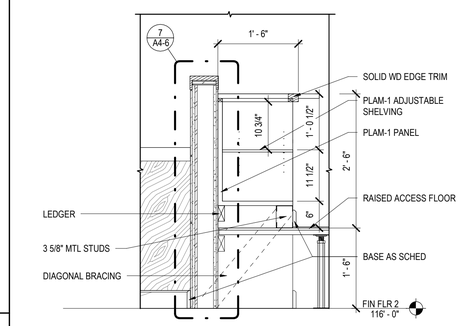
4 A4-5 INTERIOR DETAIL
1/2" = 1'-0"



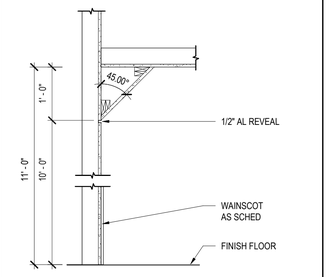
6 A4-5 INTERIOR DETAIL
3/4" = 1'-0"



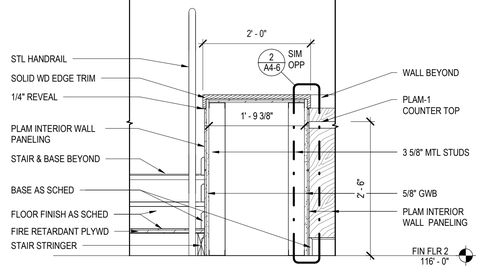
7 A4-5 INTERIOR DETAIL
3/4" = 1'-0"



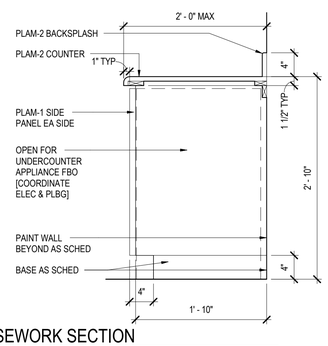
8 A4-5 INTERIOR DETAIL
3/4" = 1'-0"



9 A4-5 INTERIOR DETAIL
3/4" = 1'-0"

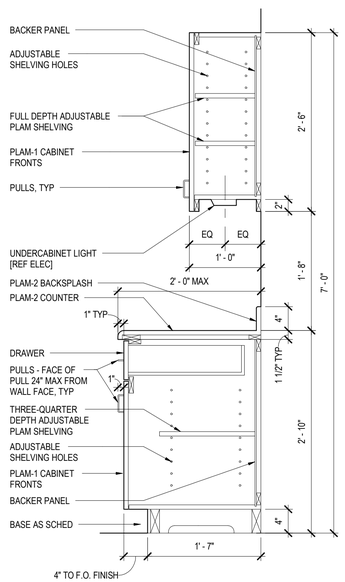


5 A4-5 INTERIOR DETAIL
3/4" = 1'-0"

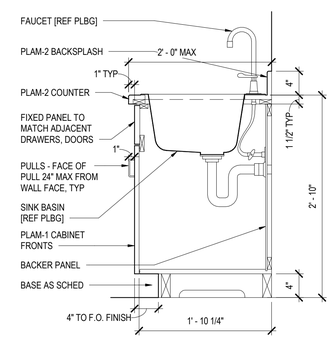


10 A4-5 CASEWORK SECTION
1" = 1'-0"

NOT USED



12 A4-5 CASEWORK SECTION
1" = 1'-0"



13 A4-5 CASEWORK SECTION
1" = 1'-0"

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INTERIOR ELEVATIONS AND INTERIOR DETAILS

FOR CONSTRUCTION

REV. DESC. DATE:

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PROJECT #: 23040

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A4-5

Project Team:

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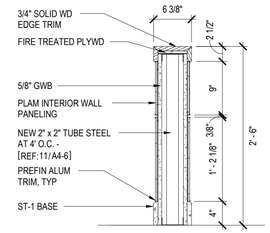
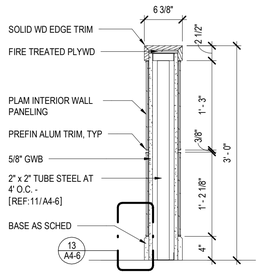


1 A4-6 INTERIOR DETAIL
1" = 1'-0"



2 A4-6 INTERIOR DETAIL
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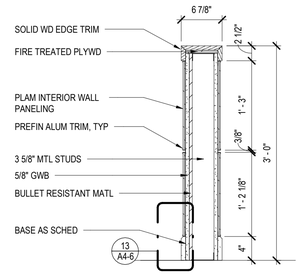

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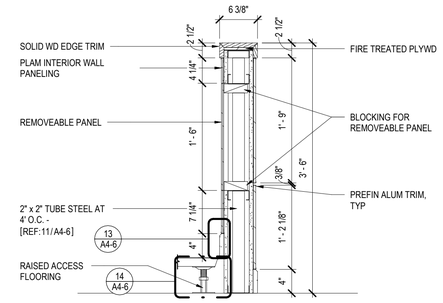
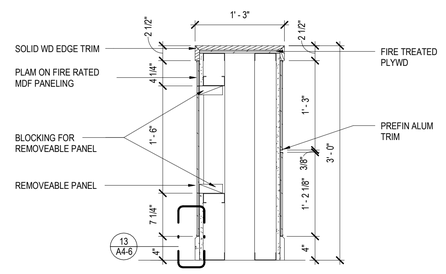
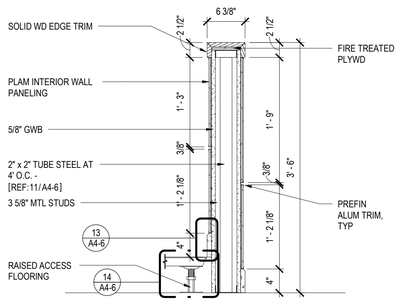


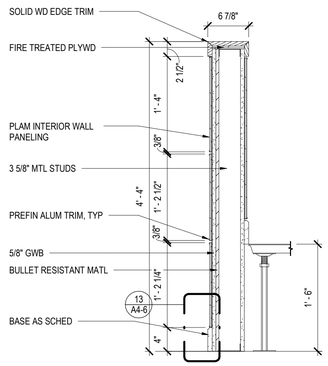
4 A4-6 INTERIOR DETAIL
1" = 1'-0"



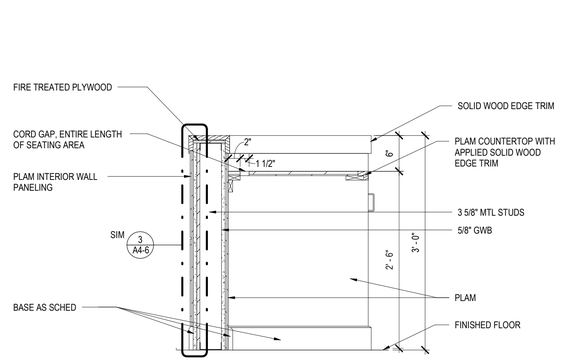
5 A4-6 INTERIOR DETAIL
1" = 1'-0"



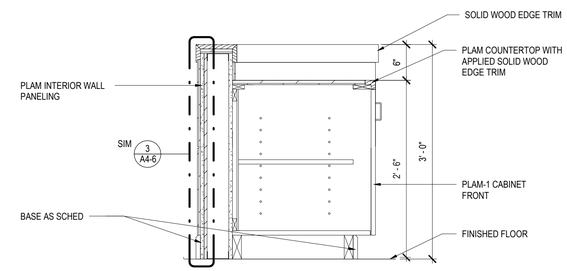
6 A4-6 INTERIOR DETAIL
1" = 1'-0"



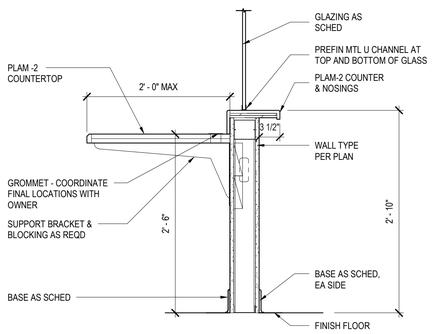
7 A4-6 INTERIOR DETAIL
1" = 1'-0"



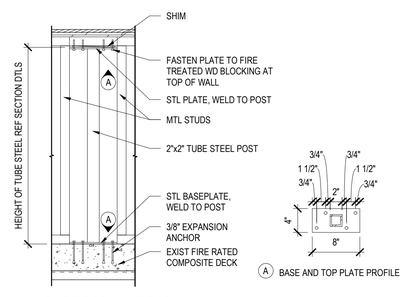
8 A4-6 INTERIOR DETAIL
1" = 1'-0"



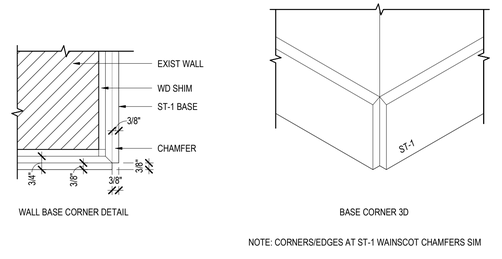
9 A4-6 INTERIOR DETAIL
1" = 1'-0"



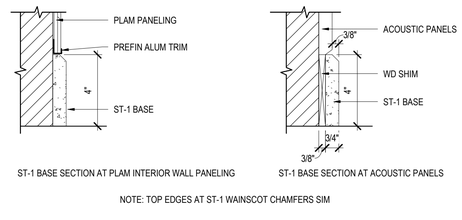
10 A4-6 INTERIOR DETAIL
1" = 1'-0"



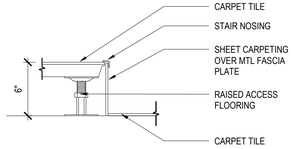
11 A4-6 INTERIOR DETAIL
1" = 1'-0"



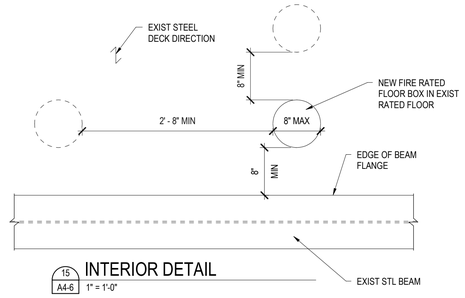
12 A4-6 INTERIOR DETAIL
3" = 1'-0"



13 A4-6 INTERIOR DETAIL
3" = 1'-0"



14 A4-6 INTERIOR DETAIL
1 1/2" = 1'-0"



15 A4-6 INTERIOR DETAIL
1" = 1'-0"

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INTERIOR DETAILS

FOR CONSTRUCTION

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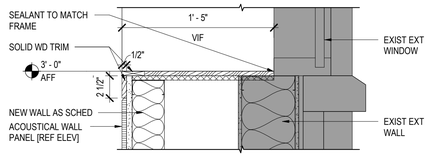
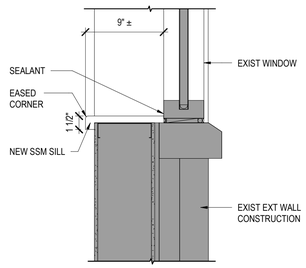


1 A4-7 INTERIOR DETAIL
1 1/2" = 1'-0"



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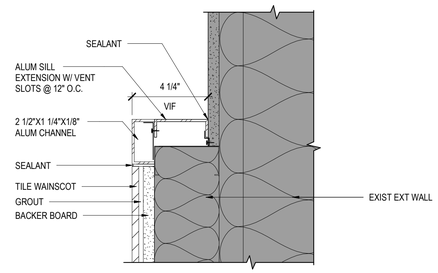
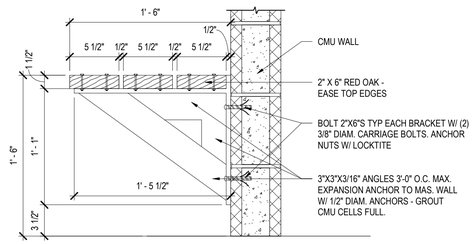
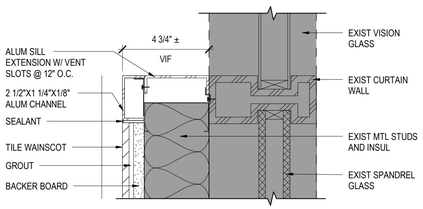
1 1/2" = 1'-0"



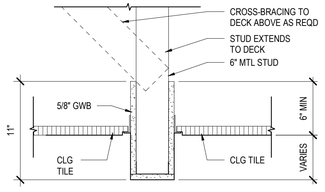
3 A4-7 INTERIOR DETAIL
3" = 1'-0"



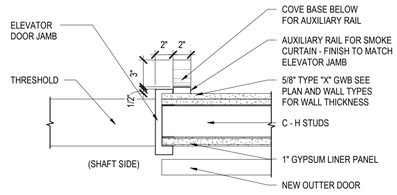
4 A4-7 INTERIOR DETAIL
1 1/2" = 1'-0"



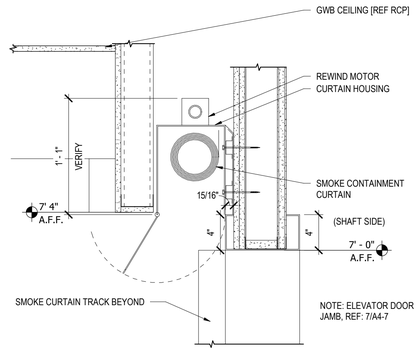
5 A4-7 INTERIOR DETAIL
3" = 1'-0"



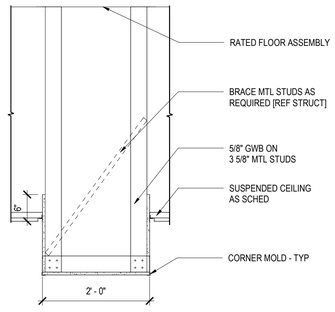
6 A4-7 SOFFIT DETAIL
1 1/2" = 1'-0"



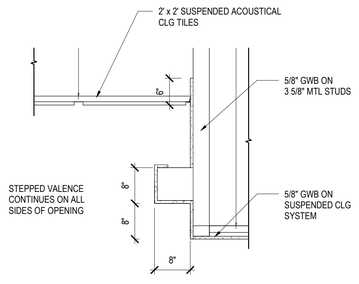
7 A4-7 INTERIOR DETAIL
1 1/2" = 1'-0"



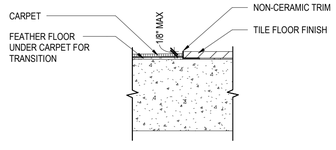
8 A4-7 INTERIOR DETAIL
1 1/2" = 1'-0"



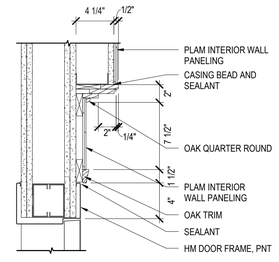
9 A4-7 INTERIOR DETAIL
3/4" = 1'-0"



10 A4-7 INTERIOR DETAIL
3/4" = 1'-0"



11 A4-7 INTERIOR DETAIL
3" = 1'-0"



12 A4-7 INTERIOR DETAIL
1 1/2" = 1'-0"

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INTERIOR DETAILS

FOR CONSTRUCTION

REV. DESC. DATE:

DATE: 08/30/2024

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SHEET #:

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Project Team:
Print Date: 8/30/2024 10:14:12 AM

DOOR SCHEDULE

DOOR NUMBER	DOOR SIZE WIDTH	DOOR SIZE HEIGHT	DOOR TYPE TYPE	DOOR TYPE MATL	DOOR TYPE GLAZING	DOOR TYPE FINISH	RATING	HDW GROUP	FRAME TYPE TYPE	FRAME TYPE MATL	FRAME TYPE FINISH	FRAME TYPE JAMB DETAIL	FRAME TYPE HEAD DETAIL	FRAME TYPE SILL / THRESHOLD	COMMENTS
2007A	3' - 0"	8' - 0"	E	WD	- -	FFIN	- -	16	A	HM	PNT	1/A5-1	6/A5-1	- -	2
2007B	3' - 0"	7' - 0"	B	WD	GL-1	STN	- -	19	A	HM	PNT	1/A5-1	6/A5-1	- -	2, 4
2008	3' - 0"	7' - 0"	B	WD	GL-1	STN	- -	5	A	HM	PNT	1/A5-1	6/A5-1	- -	2, 4
2010	3' - 0"	7' - 0"	B	WD	GL-1	STN	- -	13	A	HM	PNT	1/A5-1	6/A5-1	- -	6
2011	3' - 0"	7' - 0"	B	WD	GL-1	STN	- -	13	A	HM	PNT	1/A5-1	6/A5-1	- -	6
2013	3' - 0"	7' - 0"	B	WD	GL-1	STN	- -	13	A	HM	PNT	1/A5-1	6/A5-1	- -	6
2014	3' - 0"	7' - 0"	B	WD	GL-1	STN	- -	13	A	HM	PNT	1/A5-1	6/A5-1	- -	6
2015	3' - 0"	7' - 0"	B	WD	GL-1	STN	- -	13	A	HM	PNT	1/A5-1	6/A5-1	- -	6
2016	3' - 0"	7' - 0"	B	WD	GL-1	STN	- -	13	A	HM	PNT	1/A5-1	6/A5-1	- -	6
2017	3' - 0"	7' - 0"	B	WD	GL-1	STN	- -	13	A	HM	PNT	1/A5-1	6/A5-1	- -	6
2018	3' - 0"	7' - 0"	B	WD	GL-1	STN	- -	13	A	HM	PNT	1/A5-1	6/A5-1	- -	6
2019	3' - 0"	7' - 0"	B	WD	GL-1	STN	- -	13	A	HM	PNT	1/A5-1	6/A5-1	- -	6
2020	3' - 0"	7' - 0"	B	WD	GL-1	STN	- -	13	A	HM	PNT	1/A5-1	6/A5-1	- -	6
2021	3' - 0"	7' - 0"	B	WD	GL-1	STN	- -	13	A	HM	PNT	1/A5-1	6/A5-1	- -	6
2022	3' - 0"	7' - 0"	B	WD	GL-1	STN	- -	14	A	HM	PNT	1/A5-1	6/A5-1	- -	
2023	3' - 0"	7' - 0"	EXIST	HM	- -	EXIST	- -	4	EXIST	HM	PNT	- -	- -	- -	5
2024A	3' - 0"	7' - 0"	B	WD	GL-2	STN	60 MIN	18	A	HM	PNT	1/A5-1	6/A5-1	- -	1, 2, 4
2024B	3' - 0"	7' - 0"	B	WD	GL-2	STN	60 MIN	18	A	HM	PNT	1/A5-1	6/A5-1	- -	1, 2, 4
2025	3' - 0"	7' - 0"	A	WD	- -	STN	60 MIN	17	A	HM	PNT	1/A5-1	6/A5-1	- -	1
2026	3' - 0"	7' - 0"	B	WD	GL-1	STN	- -	20	A	HM	PNT	1/A5-1	6/A5-1	- -	2, 3
2028	3' - 0"	7' - 0"	B	WD	GL-2	STN	60 MIN	6	A	HM	PNT	1/A5-1	6/A5-1	- -	1, 4
2029	3' - 0"	7' - 0"	A	WD	GL-1	STN	- -	6	A	HM	PNT	1/A5-1	6/A5-1	- -	4
2030	3' - 0"	7' - 0"	A	WD	- -	STN	- -	10	A	HM	PNT	1/A5-1	6/A5-1	- -	4
2031A	3' - 0"	7' - 0"	B	WD	GL-2	STN	60 MIN	5	A	HM	PNT	1/A5-1	6/A5-1	- -	1, 2, 4
2031B	3' - 0"	7' - 0"	A	WD	- -	STN	- -	9	A	HM	PNT	1/A5-1	6/A5-1	- -	4
2032	3' - 0"	7' - 0"	A	WD	- -	STN	60 MIN	7	A	HM	PNT	1/A5-1	6/A5-1	- -	1
2033	3' - 0"	7' - 0"	A	WD	- -	STN	60 MIN	7	A	HM	PNT	1/A5-1	6/A5-1	- -	1
2034A	6' - 0"	8' - 0"	E	WD	- -	STN	60 MIN	2	B	HM	PNT	1/A5-1	6/A5-1	- -	1, 4
2034B	6' - 0"	8' - 0"	E1	WD	- -	STN	- -	11	B	HM	PNT	8/A5-1	7/A5-1	- -	1, 4
2034C	3' - 0"	8' - 0"	E	WD	- -	STN	60 MIN	1	A	HM	PNT	8/A5-1	7/A5-1	- -	1,2,3,4
2034D	3' - 0"	8' - 0"	E	WD	- -	STN	60 MIN	22	A	HM	PNT	8/A5-1	7/A5-1	- -	1, 2, 4
2034E	3' - 6"	2' - 8"	A	WD	- -	STN	- -	21	D	WD	STN	2/A5-1	- -	- -	
2035	3' - 0"	8' - 0"	E	WD	- -	STN	60 MIN	12	A	HM	PNT	8/A5-1	7/A5-1	- -	1, 4
2036	3' - 0"	7' - 0"	A	HM	- -	PNT	- -	DHW-1	C	HM	PNT	9/A5-1,10/A5-1	9/A5-1 SIM	- -	
2037	3' - 0"	7' - 0"	A	HM	- -	PNT	- -	DHW-1	C	HM	PNT	1/A5-1	6/A5-1	- -	
2039	3' - 0"	8' - 0"	A	WD	- -	STN	- -	8	C	HM	PNT	1/A5-1	6/A5-1	- -	4
2040	3' - 0"	8' - 0"	A	WD	- -	STN	- -	3	A	HM	PNT	1/A5-1	6/A5-1	- -	
2054	3' - 0"	7' - 0"	EXIST	HM	- -	EXIST	- -	23	EXIST	HM	PNT	- -	- -	- -	2, 5
2058	3' - 0"	7' - 0"	B	WD	- -	STN	- -	4	A	HM	PNT	1/A5-1	6/A5-1	- -	2, 3
2064	3' - 0"	7' - 0"	EXIST	HM	- -	EXIST	- -	24	EXIST	HM	EXISTING	- -	- -	- -	2, 3, 5

DOOR SCHEDULE COMMENTS

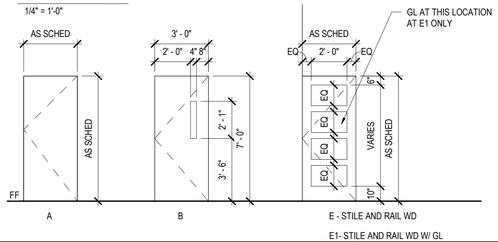
1. COMPLY W/ IBC & NFPA 80 FOR SMOKE CONTROL
2. ELECTRONIC DOOR ACCESS DEVICE
3. DELAYED EGRESS
4. DOOR IN SOUND RATED PARTITION
5. EXISTING DOOR - NEW HARDWARE
6. REINSTALL SALVAGED DOOR AND HARDWARE [ALTERNATE 5]

DOOR SCHEDULE GENERAL NOTES

1. FRAME ELEVATIONS INDICATED ARE BASED UPON NOMINAL DIMENSIONS. FIELD VERIFY DIMENSIONS OF ACTUAL ROUGH OPENINGS.
2. ALL GLAZING IS TO BE TYPE GL-1, UNO.
3. ALL INTERIOR HOLLOW METAL DOORS & FRAMES ARE TO BE PAINTED PNT-2 (ALL SIDES).

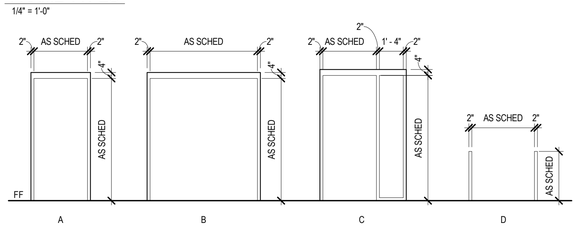
DOOR TYPES

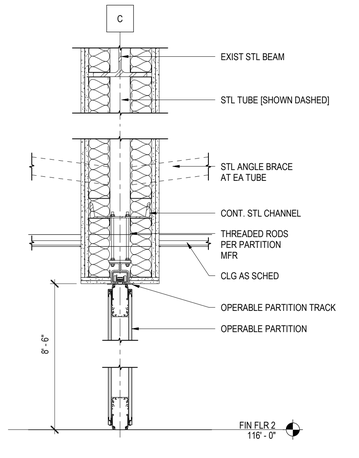
1/4" = 1'-0"



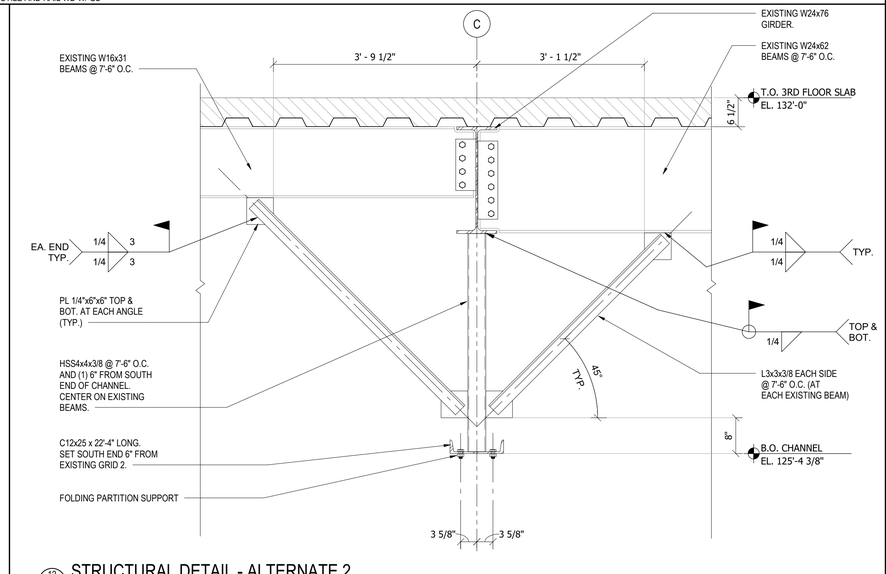
FRAME TYPES

1/4" = 1'-0"

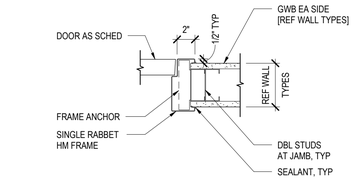




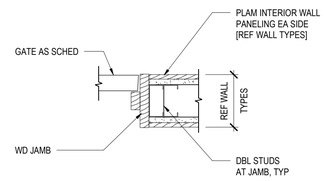
11 A5-1 INTERIOR DETAIL - ALTERNATE 2
1" = 1'-0"



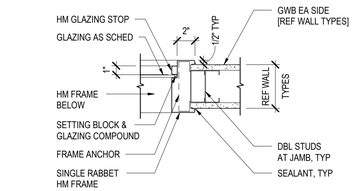
12 A5-1 STRUCTURAL DETAIL - ALTERNATE 2
3/4" = 1'-0"



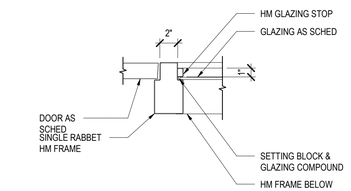
1 A5-1 INTERIOR DETAIL
1 1/2" = 1'-0"



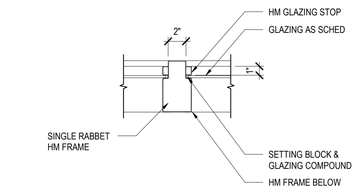
2 A5-1 INTERIOR DETAIL
1 1/2" = 1'-0"



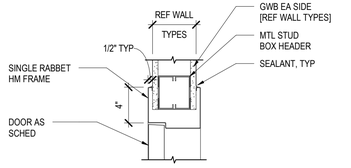
3 A5-1 INTERIOR DETAIL
1 1/2" = 1'-0"



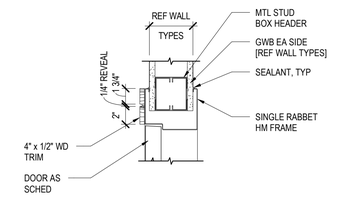
4 A5-1 INTERIOR DETAIL
1 1/2" = 1'-0"



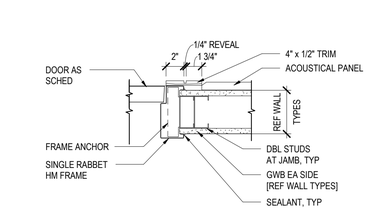
5 A5-1 INTERIOR DETAIL
1 1/2" = 1'-0"



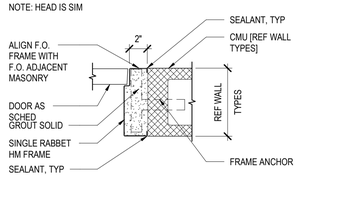
6 A5-1 INTERIOR DETAIL
1 1/2" = 1'-0"



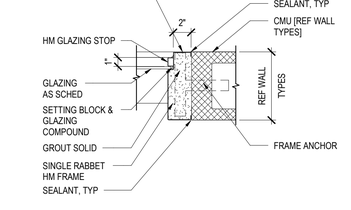
7 A5-1 INTERIOR DETAIL
1 1/2" = 1'-0"



8 A5-1 INTERIOR DETAIL
1 1/2" = 1'-0"



9 A5-1 INTERIOR DETAIL
1 1/2" = 1'-0"



10 A5-1 INTERIOR DETAIL
1 1/2" = 1'-0"

BG+ co.
Architecture
Interior Design
Project Management
622 Rood Avenue
Grand Junction, CO 81501
970-242-1058 office
BLYTHE GROUP + co.

MESA COUNTY JUSTICE CENTER SECOND FLOOR RENOVATION

125 N SPRUCE ST
GRAND JUNCTION, CO 81501

DOOR SCHEDULE / DETAILS

FOR CONSTRUCTION

REV. DESC. DATE:

DATE: 08/30/2024

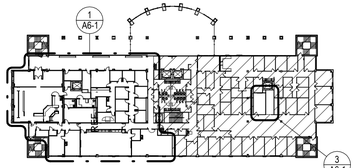
PROJECT #: 23040

SHEET #:

A5-1

Project Team:

Print Date: 8/30/2024 10:14:15 AM



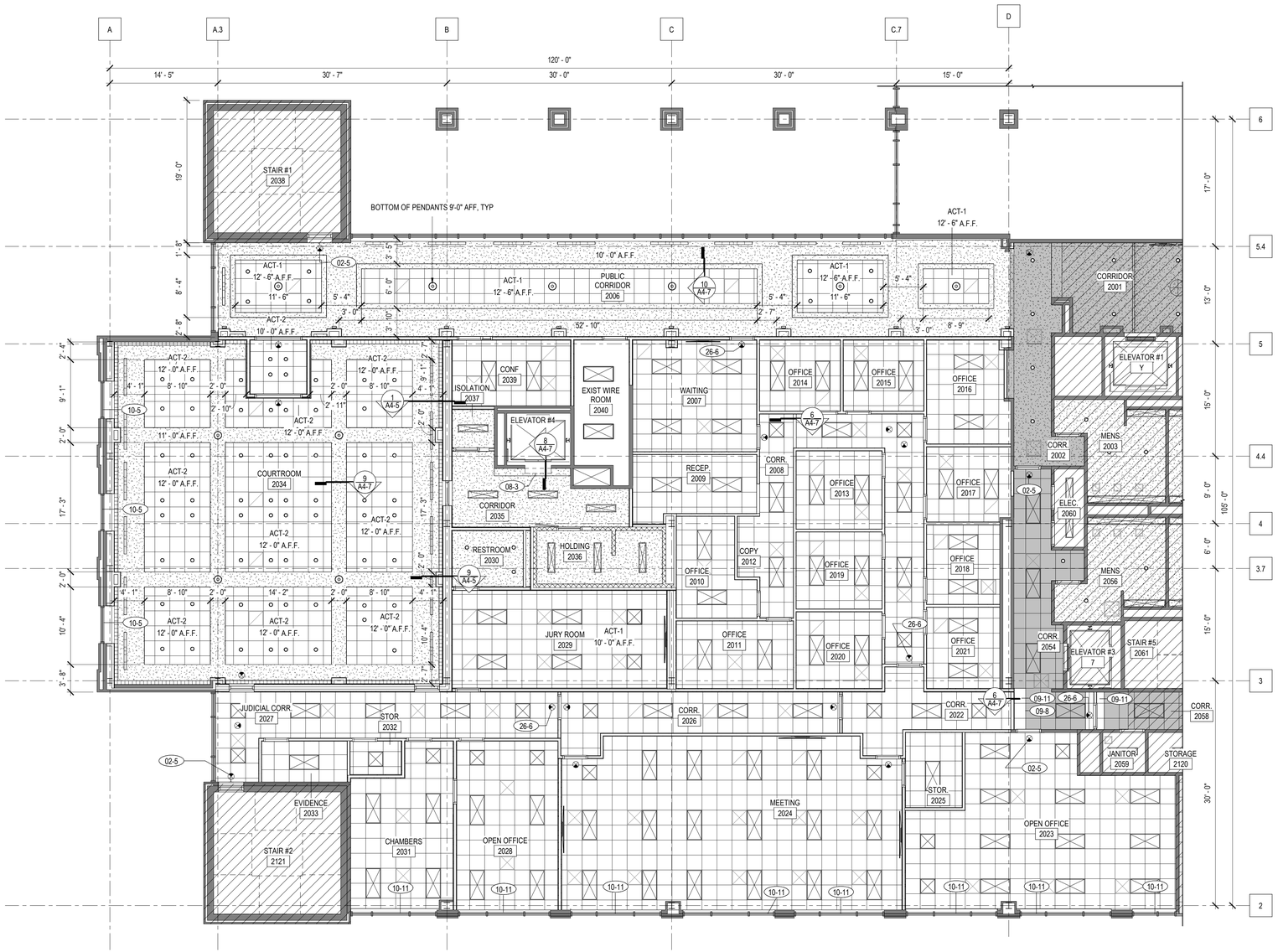
KEY PLAN

RCP LEGEND

- ACOUSTICAL CEILING TILE ACT-1 AT 9'-0" AFF UNO
- GWB
- NEW 24" x 48" RECESSED LIGHT FIXTURE [REF ELEC]
- NEW 24" x 24" RECESSED LIGHT FIXTURE [REF ELEC]
- NEW RECESSED LIGHT FIXTURE [REF ELEC]
- NEW SUSPENDED LIGHT FIXTURE [REF ELEC]
- NEW COVE LIGHT FIXTURE [REF ELEC]
- EXISTING CEILING AND LIGHTING TO REMAIN
- NO ARCHITECTURAL RENOVATION WORK
- LINEAR SUPPLY DIFFUSER [REF MECH]
- SUPPLY DIFFUSER [REF MECH]
- RETURN REGISTER [REF MECH]

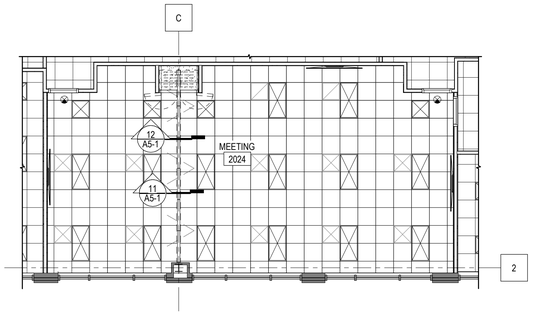
KEYNOTE LEGEND

02-5	EXISTING EXIT SIGN TO REMAIN
08-3	SMOKE CURTAIN AT NEW ELEVATOR STOP
09-8	EXTEND EXISTING CEILING GRID
09-11	INSTALL SALVAGED CEILING TILES IN GOOD CONDITION IN THIS AREA
10-5	NEW WINDOW SHADES [ALTERNATE 6]
10-11	NEW WINDOW SHADES
26-6	REINSTALL SALVAGED EXIT SIGN



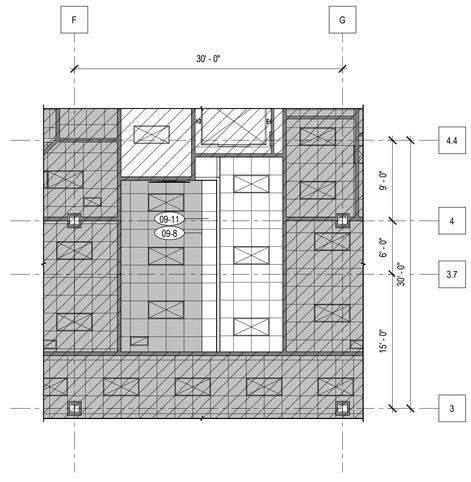
NORTH 1 A6-1 1/8" = 1'-0"

REFLECTED CEILING PLAN



NORTH 2 A6-1 1/8" = 1'-0"

REFLECTED CEILING PLAN ALTERNATE 2



NORTH 3 A6-1 1/8" = 1'-0"

REFLECTED CEILING PLAN

BG+ co.
Architecture
Interior Design
Project Management
622 Rood Avenue
Grand Junction, CO 81501
970-242-1058 office
BLYTHE GROUP + co.

MESA COUNTY JUSTICE CENTER SECOND FLOOR RENOVATION

125 N SPRUCE ST
GRAND JUNCTION, CO 81501

REFLECTED CEILING PLAN

FOR CONSTRUCTION

REV. DESC. DATE:

DATE: 08/30/2024

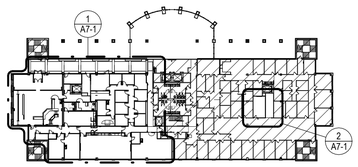
PROJECT #: 23040

SHEET #:

A6-1

Project Team:

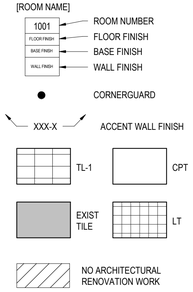
Print Date: 8/30/2024 10:14:17 AM



KEY PLAN

ROOM FINISH LEGEND

AM-1	ACOUSTICAL WALL PANELS (COLOR 1 - UP TO 36" AFF)
AM-2	ACOUSTICAL WALL PANELS (COLOR 2 - 36" AFF TO CEILING)
CPT-1	CARPET TILE (GENERAL AREAS)
CPT-2	CARPET TILE (COURTROOM)
IWP	PLAM INTERIOR WALL PANELING (PLAM 1)
	RED OAK WD VENEER APPLIED WALL PANELING [ALTERNATE 3]
LT	LINOLEUM TILE
PLAM-1	PLAM AT BASE AND UPPER CABINETS
PLAM-2	PLAM AT COUNTERTOPS
PNT-1	GENERAL PAINT
PNT-2	ACCENT PAINT (HOLLOW METAL AND STEEL RAILINGS)
PNT-3	CEILING PAINT
RB	RUBBER BASE
SC	SEALED CONCRETE
ST-1	QUARTZ MATERIAL (4" H BASE OR 36" H WAINSCOT)
	NATURAL STONE [ALTERNATE 3]
SSM	SOLID SURFACE MATERIAL
TL-1	PORCELAIN TILE COLOR 1
TL-2	PORCELAIN TILE TO MATCH EXISTING MARBLE
TL-3	PORCELAIN TILE COLOR 2

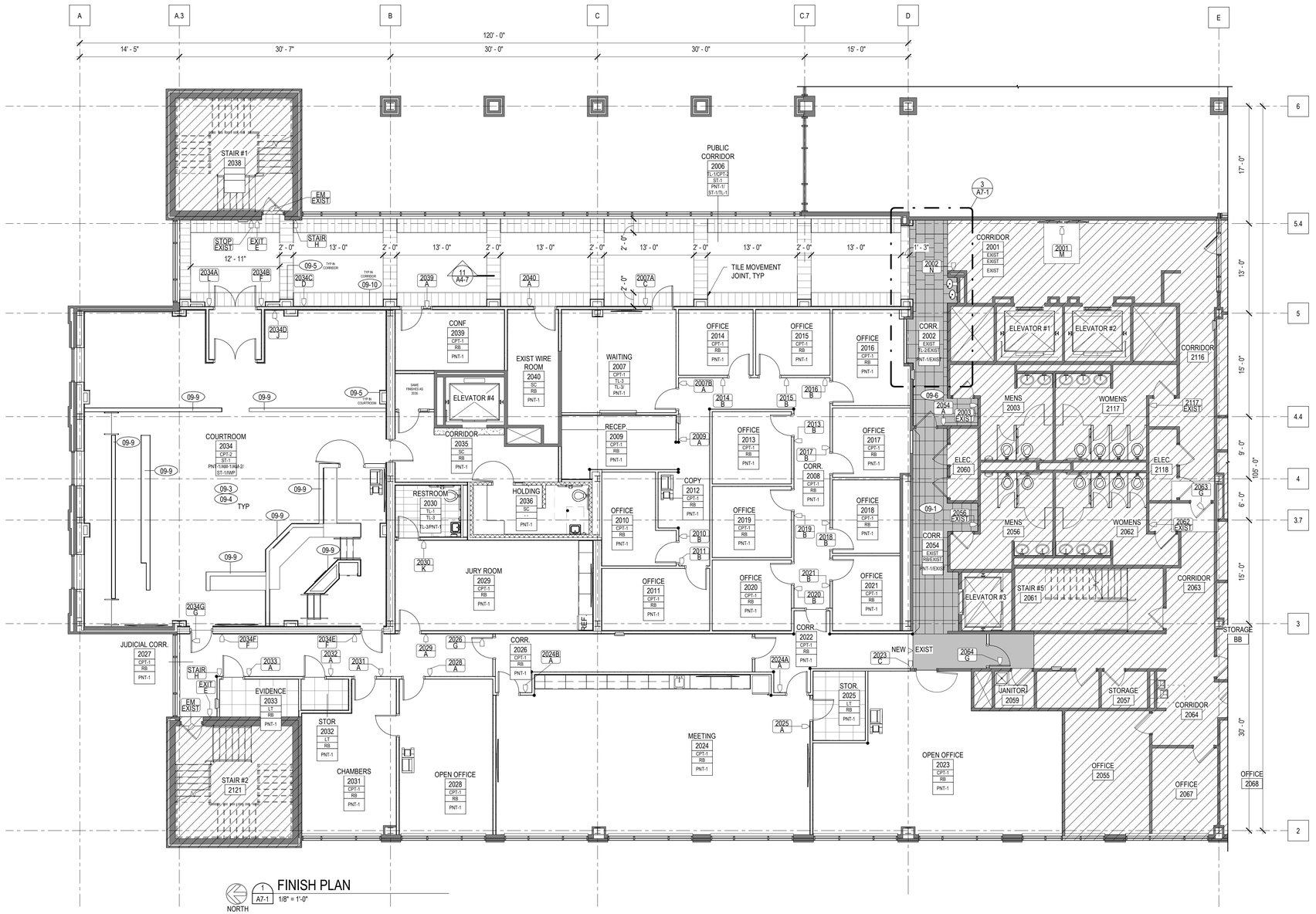


GENERAL FINISH NOTES

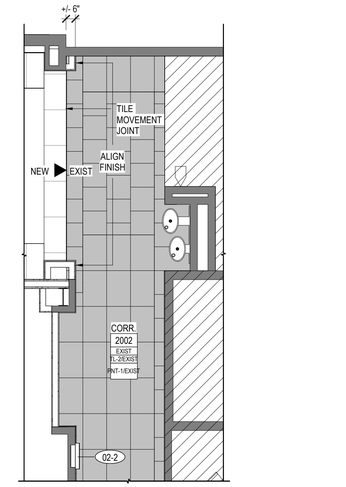
1. ALL EXPOSED GYP BD SURFACES WITHIN ARCHITECTURAL RENOVATION AREAS TO RECEIVE PNT.

KEYNOTE LEGEND

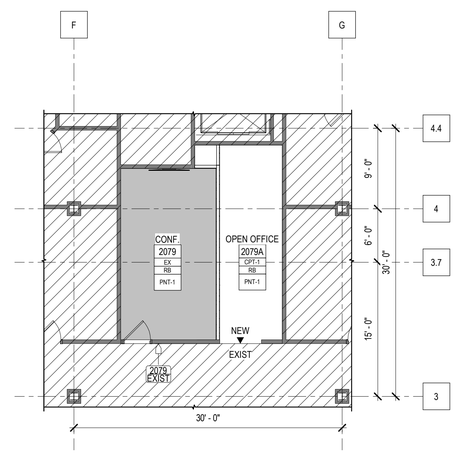
02-2	EXISTING FEC TO REMAIN
09-1	PROVIDE NEW RUBBER BASE AND REPAINT WALL
09-3	IN ORDER FROM FLOOR TO CEILING: PROVIDE ST-1 BASE, AM-1 ACOUSTICAL WALL PANELS, WD CHAIR RAIL, AND AM-2 ACOUSTICAL PANELS ABOVE TO UNDERSIDE OF CEILING [REF ELEV]
09-4	PROVIDE NEW CARPET TILE AND ST-1 BASE
09-5	ST-1 WAINSCOT AT BUMP OUT
09-6	REPAINT ENTIRE WALL
09-9	PLAM INTERIOR WALL PANELING CLAD WALL WITH SOLID WD TRIM CAP
09-10	TILE WAINSCOT TO 36" HIGH WITH ALUMINUM CHANNEL CHAIR RAIL



1 A7-1 FINISH PLAN
1/8" = 1'-0"
NORTH



3 A7-1 ENLARGED PLAN
1/4" = 1'-0"



2 A7-1 FINISH PLAN
1/8" = 1'-0"
NORTH

BG+ co.
Architecture
Interior Design
Project Management
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Grand Junction, CO 81501
970-242-1058 office
BLYTHE GROUP + co.

MESA COUNTY JUSTICE CENTER SECOND FLOOR RENOVATION

125 N SPRUCE ST
GRAND JUNCTION, CO 81501

FINISH PLAN

FOR CONSTRUCTION

REV.	DESC.	DATE:

DATE: 08/30/2024

PROJECT #: 23040

SHEET #:

A7-1

Project Team:

Print Date: 8/30/2024 10:14:23 AM

SIGNAGE SCHEDULE

SIGN ID	SIGN TYPE	SIGNAGE ROOM NUMBER	COPY 1	COPY 2	COPY 3	COPY 4	MOUNTING SURFACE	COMMENTS
2001	M	- -	DISTRICT ATTORNEY	TBD	VICTIM WITNESS OFFICE	- -	GWB	
2002	N		JUDGES CHAMBERS	DIVISION CLERKS			GWB	
2003	B	EXIST	- -	- -	- -	- -	GWB	1
2007A	C	- -	VICTIM WITNESS OFFICE	- -	- -	- -	GWB	
2007B	A	TBD	- -	WAITING	- -	- -	GWB	
2009	A	TBD	- -	OPEN OFFICE	- -	- -	GWB	
2010	B	TBD	TBD	- -	- -	- -	GWB	
2011	B	TBD	TBD	- -	- -	- -	GWB	
2013	B	TBD	TBD	- -	- -	- -	GWB	
2014	B	TBD	TBD	- -	- -	- -	GWB	
2015	B	TBD	TBD	- -	- -	- -	GWB	
2016	B	TBD	TBD	- -	- -	- -	GWB	
2017	B	TBD	TBD	- -	- -	- -	GWB	
2018	B	TBD	TBD	- -	- -	- -	GWB	
2019	B	TBD	TBD	- -	- -	- -	GWB	
2020	B	TBD	TBD	- -	- -	- -	GWB	
2021	B	TBD	TBD	- -	- -	- -	GWB	
2023	C	TBD	INVESTIGATIONS OFFICE	- -	- -	- -	GWB	
2024A	A	TBD	- -	CONFERENCE	- -	- -	GWB	
2024B	A	TBD	- -	CONFERENCE	- -	- -	GWB	

SIGNAGE SCHEDULE

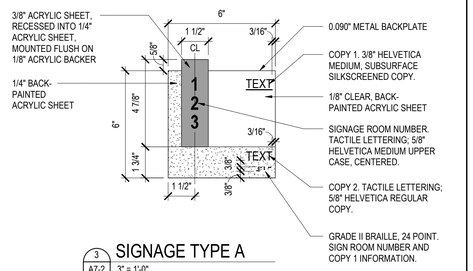
SIGN ID	SIGN TYPE	SIGNAGE ROOM NUMBER	COPY 1	COPY 2	COPY 3	COPY 4	MOUNTING SURFACE	COMMENTS
2025	A	TBD	- -	STORAGE	- -	- -	GWB	
2026	G	- -	PUSH UNTIL ALARM SOUNDS. DOOR CAN BE OPENED IN 15 SECONDS.	- -	- -	- -	DOOR	
2028	A	TBD	21ST JUDICIAL DISTRICT	TBD	- -	- -	GWB	
2029	A	TBD	- -	JURY MEETING	- -	- -	GWB	
2030	K	- -	RESTROOM	- -	- -	- -	GWB	
2031	A	TBD	21ST JUDICIAL DISTRICT	TBD	- -	- -	GWB	
2032	A	TBD	- -	STORAGE	- -	- -	GWB	
2033	A	TBD	- -	EVIDENCE	- -	- -	GWB	
2034A	L	TBD	ASSISTIVE LISTENING SYSTEMS AVAILABLE	- -	- -	- -	PLAM	
2034B	F	- -	COURT	DISTRICT	- -	- -	PLAM	
2034C	D	- -	COURT	DISTRICT	TBD	TBD	GWB	
2034D	J	- -	MAXIMUM	OCCUPANCY	93	- -	AM	
2034E	F	- -	COURT	DISTRICT	- -	- -	GWB	
2034F	F	- -	COURT	DISTRICT	- -	- -	GWB	
2034G	G	- -	PUSH UNTIL ALARM SOUNDS. DOOR CAN BE OPENED IN 15 SECONDS.	- -	- -	- -	DOOR	
2039	A	TBD	- -	CONFERENCE	- -	- -	GLAZ	
2040	A	TBD	- -	WIRE ROOM	- -	- -	GWB	
2054	A	- -	21ST JUDICIAL DISTRICT	CHAMBERS AND CLERK			GWB	
2056	B	EXIST	- -	- -	- -	- -	GWB	1

SIGNAGE SCHEDULE

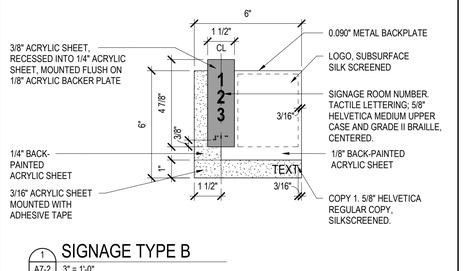
SIGN ID	SIGN TYPE	SIGNAGE ROOM NUMBER	COPY 1	COPY 2	COPY 3	COPY 4	MOUNTING SURFACE	COMMENTS
2062	B	EXIST	- -	- -	- -	- -	GWB	1
2063	G	- -	PUSH UNTIL ALARM SOUNDS. DOOR CAN BE OPENED IN 15 SECONDS.	- -	- -	- -	DOOR	
2064	G	- -	PUSH UNTIL ALARM SOUNDS. DOOR CAN BE OPENED IN 15 SECONDS.	- -	- -	- -	DOOR	
2079	EXIST	EXIST	- -	- -	- -	- -	GWB	
2117	B	EXIST	- -	- -	- -	- -	GWB	1
EM	EXIST	- -	- -	- -	- -	- -	GWB	
EM	EXIST	- -	- -	- -	- -	- -	GWB	
EXIT	E	- -	EXIT	- -	- -	- -	GWB	
EXIT	E	- -	EXIT	- -	- -	- -	GWB	
STAIR	H	- -	- -	- -	- -	- -	GWB	
STAIR	H	- -	- -	- -	- -	- -	GWB	
STOP	EXIST	- -	- -	- -	- -	- -	GWB	

SIGNAGE SCHEDULE COMMENTS

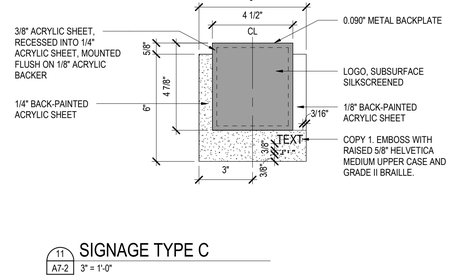
1. EXISTING SIGNAGE TO BE REINSTALLED.
2. CONTRACTOR TO COORDINATE SIGNAGE NUMBERING, LABELING, AND OTHER RELEVANT INFORMATION WITH OWNER.



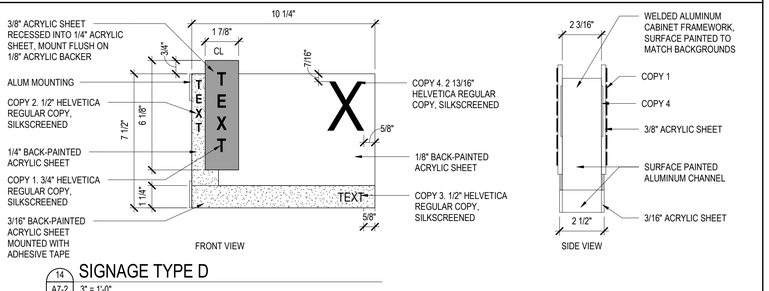
3 A7-2 SIGNAGE TYPE A
3" = 1'-0"



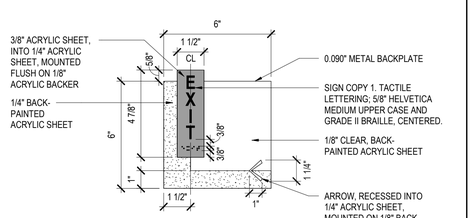
1 A7-2 SIGNAGE TYPE B
3" = 1'-0"



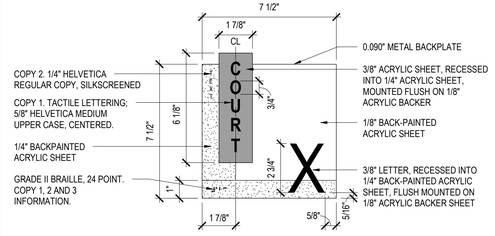
11 A7-2 SIGNAGE TYPE C
3" = 1'-0"



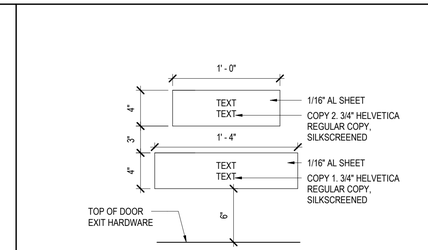
14 A7-2 SIGNAGE TYPE D
3" = 1'-0"



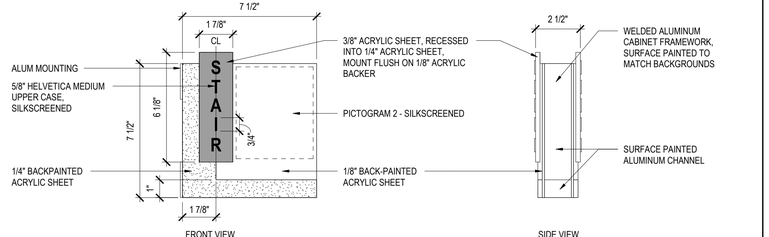
7 A7-2 SIGNAGE TYPE E
3" = 1'-0"



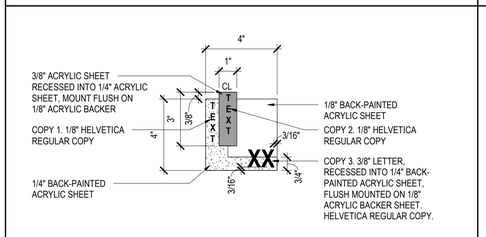
10 A7-2 SIGNAGE TYPE F
3" = 1'-0"



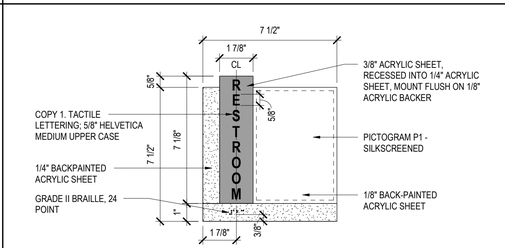
4 A7-2 SIGNAGE TYPE G
1 1/2" = 1'-0"



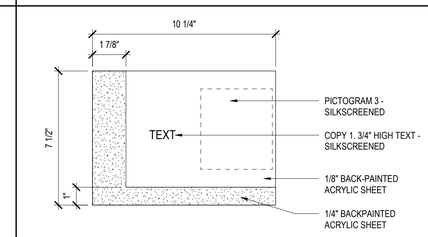
18 A7-2 SIGNAGE TYPE H
3" = 1'-0"



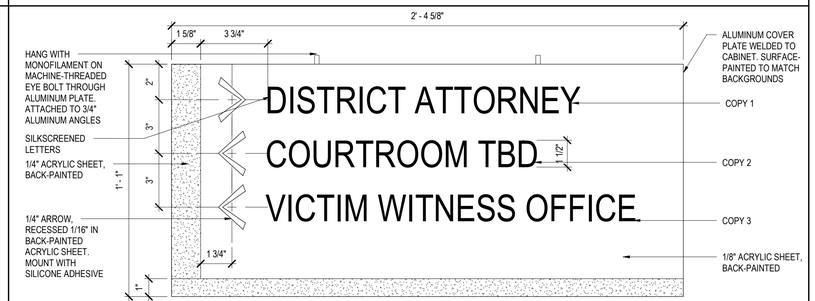
15 A7-2 SIGNAGE TYPE J
3" = 1'-0"



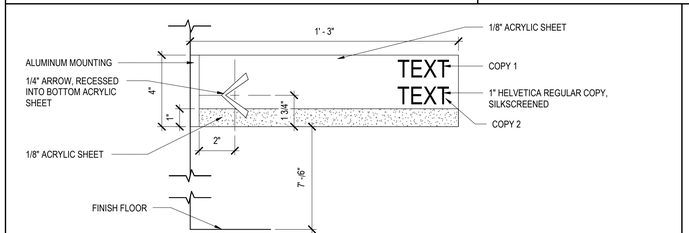
19 A7-2 SIGNAGE TYPE K
3" = 1'-0"



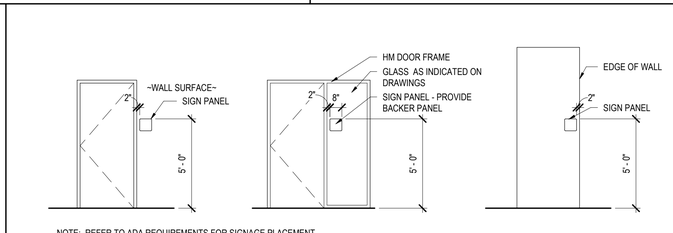
20 A7-2 SIGNAGE TYPE L
3" = 1'-0"



8 A7-2 SIGNAGE TYPE M
3" = 1'-0"



6 A7-2 SIGNAGE TYPE N
3" = 1'-0"



NOTE: REFER TO ADA REQUIREMENTS FOR SIGNAGE PLACEMENT

2 A7-2 SIGNAGE INSTALL
1/4" = 1'-0"

PICTOGRAM 1

PICTOGRAM 2

PICTOGRAM 3

BG+ co.
Architecture
Interior Design
Project Management
622 Rood Avenue
Grand Junction, CO 81501
970-242-1058 office
BLYTHE GROUP + co.

MESA COUNTY JUSTICE CENTER SECOND FLOOR RENOVATION

125 N SPRUCE ST
GRAND JUNCTION, CO 81501

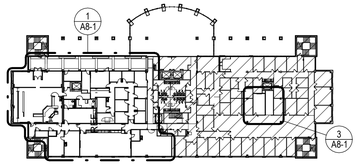
SIGNAGE SCHEDULE AND DETAILS

FOR CONSTRUCTION

REV.	DESC.	DATE:

DATE: 08/30/2024
PROJECT #: 23040
SHEET #:
A7-2

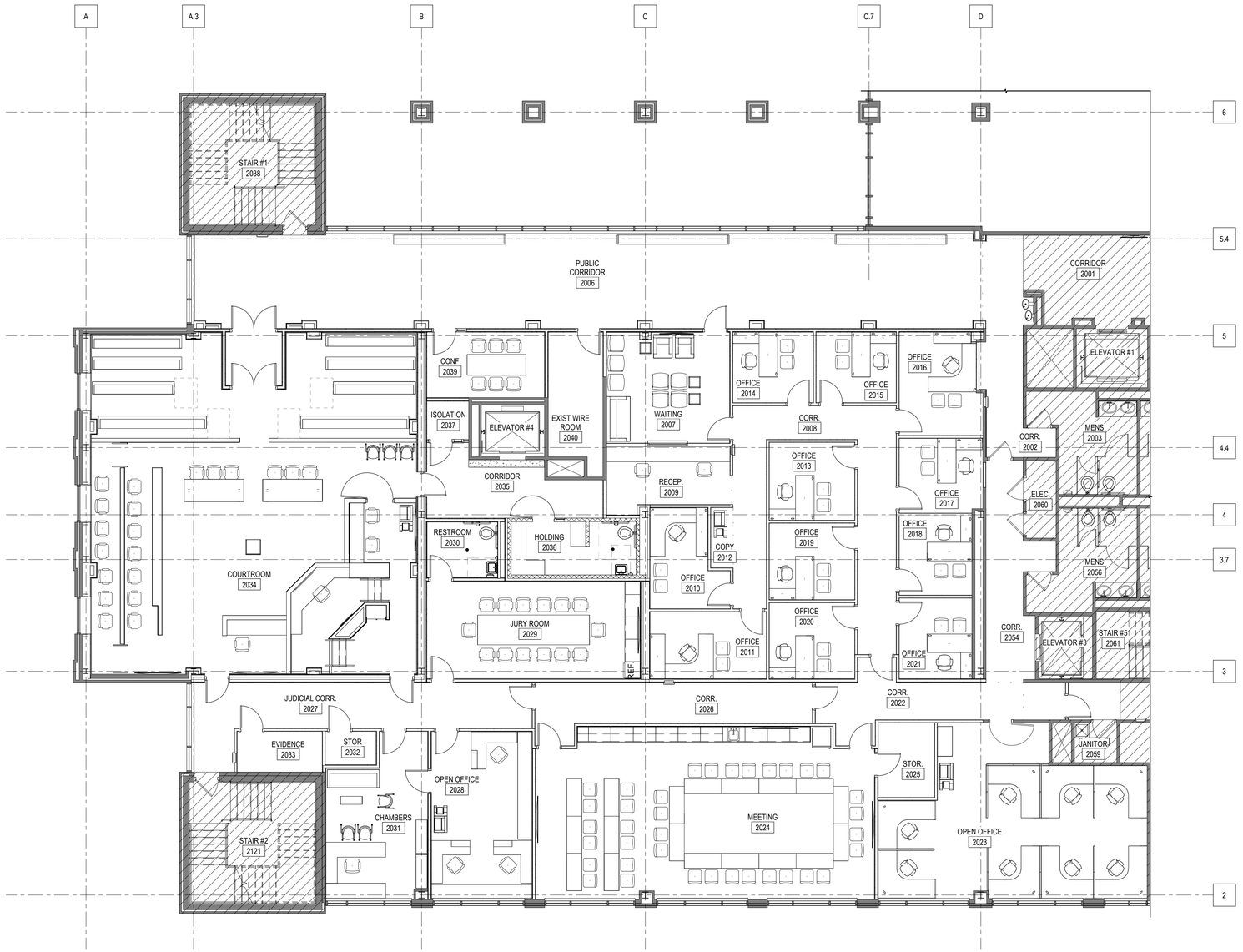
Project Team:
Print Date: 8/30/2024 10:14:26 AM



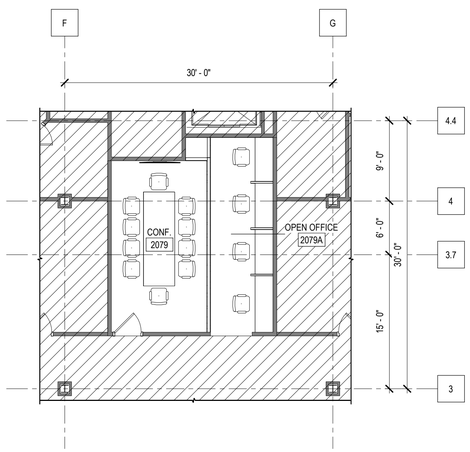
KEY PLAN

GENERAL NOTES

1. FURNITURE LAYOUT INCLUDED FOR REFERENCE AND COORDINATION ONLY. FURNITURE IS FBO.



1 A8-1 FURNITURE PLAN
NORTH 1/8" = 1'-0"



3 A8-1 FURNITURE PLAN
NORTH 1/8" = 1'-0"

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MESA COUNTY JUSTICE CENTER SECOND FLOOR RENOVATION

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GRAND JUNCTION, CO 81501

FURNITURE PLAN

FOR CONSTRUCTION

REV.	DESC.	DATE:

DATE: 08/30/2024

PROJECT #: 23040

SHEET #:

A8-1

Project Team:
Print Date: 8/30/2024 10:14:28 AM